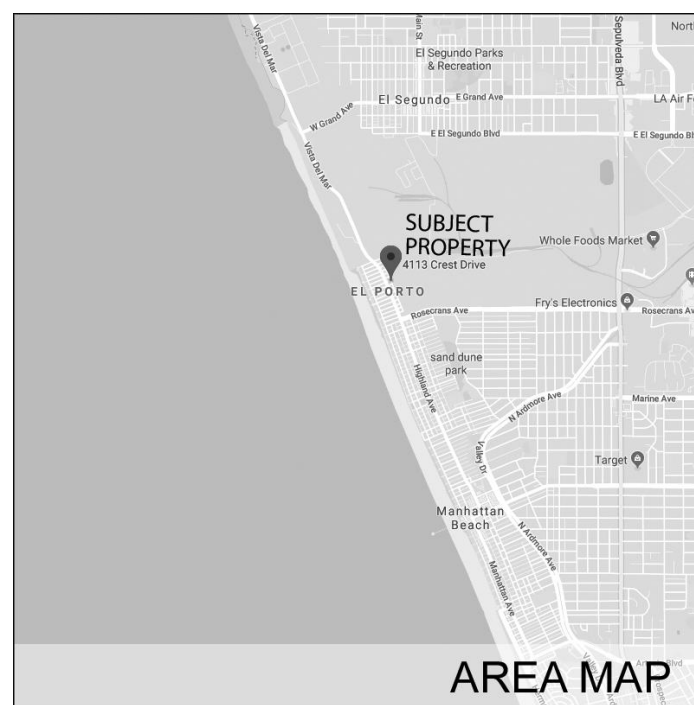


**ABBREVIATIONS**

C/L	CENTERLINE
Ø	DIAMETER OR ROUND
@	AT
PERP	PERPENDICULAR
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
CLR	CLEAR
DIA	DIAMETER
DN	DOWN
EA	EACH
EQ	EQUAL
FIN	FINISH
FLUOR	FLUORESCENT
F.F.	FINISH FACE, FINISH FLOOR
F.O.S.	FACE OF STUD
FV	FIELD VERIFY
GA.	GAUGE
GYP	GYPSUM BOARD
HR	HOUR
HVAC	HEATING, VENTILATION & AIR CONDITIONING
MAX	MAXIMUM
M.C.	MEDICINE CABINET
MIN	MINIMUM
MTD	MOUNTED
N/A	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
N.T.S.	NOT TO SCALE
O.A.	OVERALL
O.C.	ON CENTER
O.D.	OUTSIDE DIMENSION
PL	PLATE
PLYWD	PLYWOOD
RAD	RADIUS
REQ	REQUIRED
RM	ROOM
R.O.	ROUGH OPENING
SIM.	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
STL	STEEL
STR	STRUCTURE
TOW	TOP OF WALL
TYP	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD

**SYMBOL LEGEND**

- 1 ELEVATION / SECTION KEYNOTE
- 2 WALL TYPE
- AA WINDOW SYMBOL
- 03 DOOR SYMBOL



**PROJECT DATA**

**LEGAL DESCRIPTION:**  
TRACT NO 4103 NE 45 FT OF LOT 3

**ASSESSOR'S PARCEL NO. (APN):**  
4137-003-015

**PROJECT DESCRIPTION:**  
DEMOLITION OF EXISTING 1,027 SF 2 UNITS RESIDENTIAL AND CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE WITH ATTACHED 2-CAR GARAGE.

**SITE ADDRESS:**  
4113 CREST DRIVE, MANHATTAN BEACH, CA 90266

**PROPERTY SUMMARY:**  
ZONE RH (AREA DISTRICT-4)  
LOT SIZE (SQ.FT.) 30' X 45' 1,350  
MAX. BUILDABLE FLOOR AREA 1.7 2,295

OCCUPANCY R-3  
CONSTRUCTION TYPE TYPE V-B, FULLY SPRINKLERED  
STORIES 2 STORIES ABOVE BASEMENT  
HEIGHT LIMIT 30'-0"

**ZONING AREA: SEE FLOOR PLANS: SEE A1.1**

00	BASEMENT	RESIDENTIAL AREA	860
01	FIRST FLOOR	RESIDENTIAL AREA	392
02	SECOND FLOOR	RESIDENTIAL AREA	753
<b>TOTAL FLOOR AREA =</b>			<b>2,005 sq ft</b>

GARAGE AREA = 342 SF (NOT INCLUDED IN THE TOTAL AREA)  
MAXIMUM ALLOWABLE AREA = 2,295 SF > 2,005 (OK)

**OPEN SPACE REQUIREMENT:** 15% OF FLOOR AREA BUT NOT LESS THAN 220 SF  
15% OF 2,083 SF = 312 SF REQUIRED

**OPEN SPACE AREA PROVIDED: SEE A1.1**

00	BACK YARD PATIO	OPEN SPACE	187
01	BCK PATIO PATIO	OPEN SPACE	49
01	FRONT PATIO	OPEN SPACE	51
02	DECK	OPEN SPACE	49
			<b>336 sq ft</b>

**SHEET INDEX**

- A0.0 COVER SHEET
- A1.0 ARCHITECTURAL SURVEY
- A1.1 SITE PLAN
- A1.2 BASEMENT AND FIRST FLOOR PLANS
- A1.3 SECOND AND ROOF PLANS
- A2.1 SOUTH & EAST ELEVATIONS
- A2.2 NORTH & WEST ELEVATIONS
- A3.1 REFERENCE PERSPECTIVES
- A3.2 SECTION A-A & SECTION B-B
- A3.3 SECTION C-C & SECTION D-D
- A4.1 DETAILS
- A4.2 DETAILS
- A5.1 WINDOW & DOOR SCHEDULES

**PROJECT DIRECTORY**

**OWNER:**  
LORA LAVERTY  
47 WEST DIVISION STREET #408  
CHICAGO, IL 60610  
E: loralaverty@msn.com

**ARCHITECT:**  
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670 MOULTON AVENUE #5  
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E: carl@telemachus.com

**SURVEYOR:**  
GM SURVEYING/ GEORGE BARAJAS  
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E: gmsurveying@gmail.com

**SOILS ENGINEER:**  
RICHARD RYBAK  
RYBAK GEOTECHNICAL INC.  
16022 ARMINTA STREET, STE. 7  
VAN NUYS, CA 91406  
P: 818 785 0550  
E: rybak@rybakgeotechnical.com



670 moulton ave unit 5  
los angeles, ca 90031  
v . 3 2 3 . 4 4 1 . 9 0 7 0  
f . 3 2 3 . 4 4 1 . 9 0 5 8

**CREST\_MB**  
4113 CREST DRIVE  
MANHATTAN BEACH, CA 90266

**OWNER:**  
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**C R E S T - M B**

4113 Crest Drive, Manhattan Beach, Ca 90266



# TOPOGRAPHIC SURVEY

4113 CREST DRIVE, MANHATTAN BEACH, CA 90266

## NOTES

**UNDERGROUND UTILITIES**  
EXCEPT FOR THOSE SHOWN HEREON NO ATTEMPT HAS BEEN MADE TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLIC OWNED.

**EASEMENTS**  
NO EASEMENTS OF RECORD EXIST ON THE SITE AS DISCLOSED PER AVAILABLE PUBLIC RECORDS AND TITLE REPORT ORDER No 11190266-MD BY CHICAGO TITLE COMPANY DATED 01-18-2019

## LEGEND AND SYMBOLS ABBREVIATIONS

	LOT LINE	AC	: ASPHALTIC CONCRETE
	CENTER LINE	CB	: CATCH BASIN
	CHAIN LINK FENCE	CONC	: CONCRETE
	IRON FENCE	CL	: CENTER LINE
	WOODEN FENCE	CD	: CURB DRAIN
	BLOCK WALL	AD	: AREA DRAIN
	RETAINING WALL	W	: WATER
	STREET LIGHT	FDC	: FIRE DEPARTMENT CONNECTION
	TREE	HB	: HOSE BIB
	PINE TREE	EG	: EDGE OF GUTTER
	PALM TREE	ICV	: IRRIGATION CONTROL VALVE
	POWER POLE	FH	: FIRE HYDRANT
	STREET SIGN	FF	: FINISH FLOOR
	STREET LIGHT POOL BOX	FL	: FLOW LINE
	WATER METER	FS	: FINISH SURFACE
	WATER VALVE	FW	: FACE OF WALL
	FIRE HYDRANT	TC	: TOP OF CURB
	BOLLARD	TRW	: TOP OF RETAINING WALL
	GAS METER	TW	: TOP OF WALL
	GUY WIRE	BFL	: BACK FLOW PREVENTER
	ELECTRICAL BOX	C/O	: CLEANOUT
	PARKING SIGN	SS	: SANITARY SEWER
		HC	: HOUSE CONNECTION
		G	: GAS
		E	: ELECTRICAL
		W	: WATER

## BRIEF LEGAL DESCRIPTION

PORTION OF LOT 3, BLOCK 11 OF TRACT No. 4103, IN THE CITY OF MANHATTAN BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 46, PAGE 8 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 4137-003-015

## BASIS OF BEARING

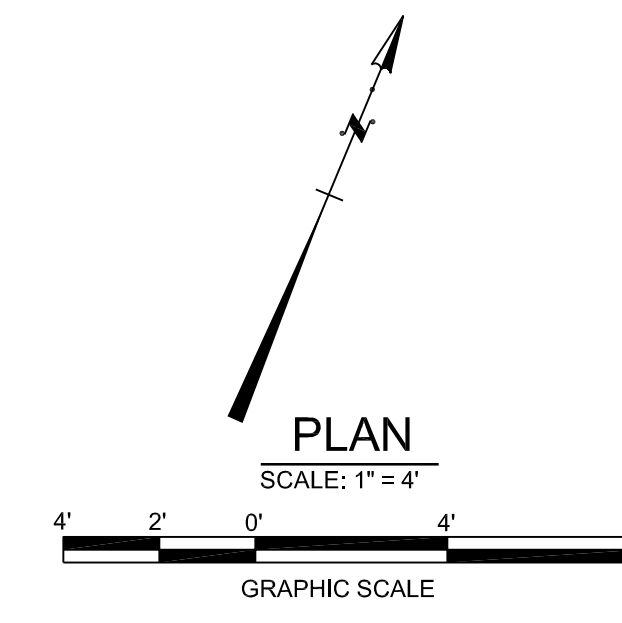
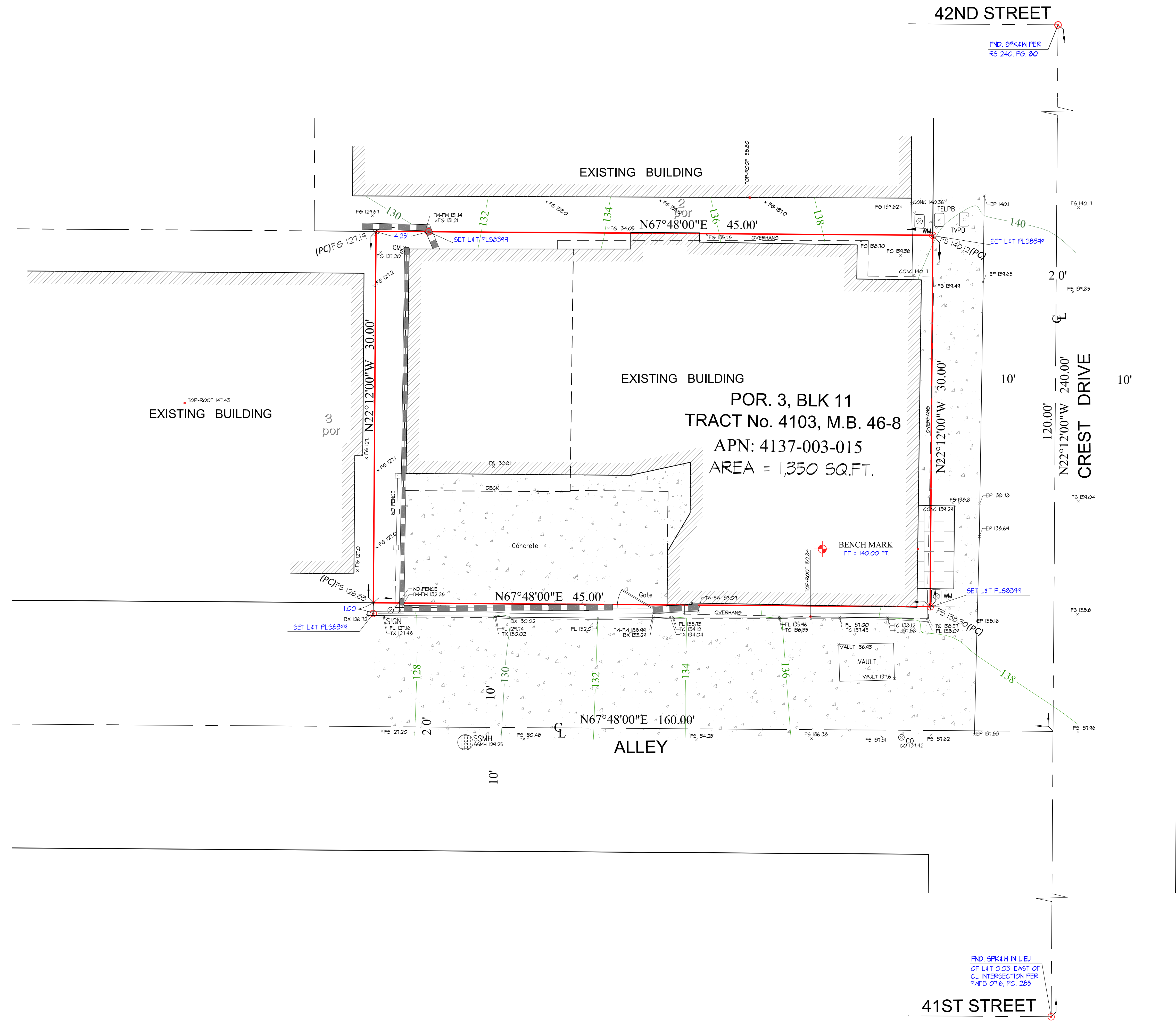
THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING N22°12'00"W OF A COURSE IN THE RIGHT OF WAY LINE OF CREST DRIVE AS SHOWN ON THE MAP OF TRACT No. 4103, M.B. 46, PAGE 8.

## BENCHMARK

FINISH FLOOR ELEVATION = 140.00 FT.

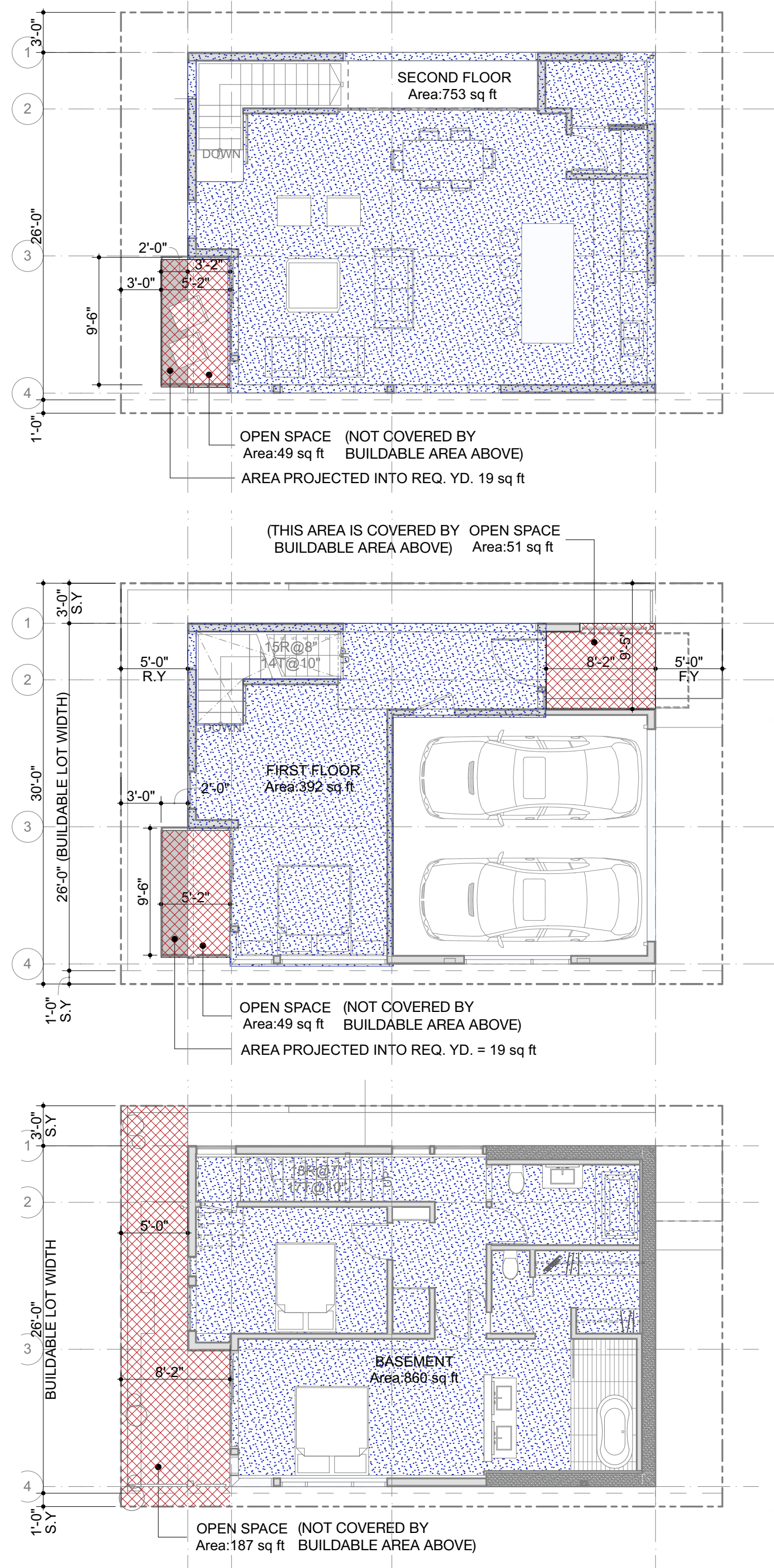
## DATE OF SURVEY

FEBRUARY 11, 2018



GEORGE BARAJAS, PLS 8399





**ZONING AREA: SEE FLOOR PLANS: SEE A1.1**

00	BASEMENT	RESIDENTIAL AREA	860
01	FIRST FLOOR	RESIDENTIAL AREA	392
02	SECOND FLOOR	RESIDENTIAL AREA	753
			<b>2,005 sq ft</b>

**OPEN SPACE REQUIREMENT:** 15% OF FLOOR AREA BUT NOT LESS THAN 220 SF  
15% OF 2,005 SF = 300 SF REQUIRED

**OPEN SPACE AREA PROVIDED: SEE A1.1**

00	BACK YARD PATIO	OPEN SPACE	187
01	BCK PATIO PATIO	OPEN SPACE	49
01	FRONT PATIO	OPEN SPACE	51 (COVERED BY BUILDABLE AREA ABOVE)
02	DECK	OPEN SPACE	49
			<b>336 sq ft</b>

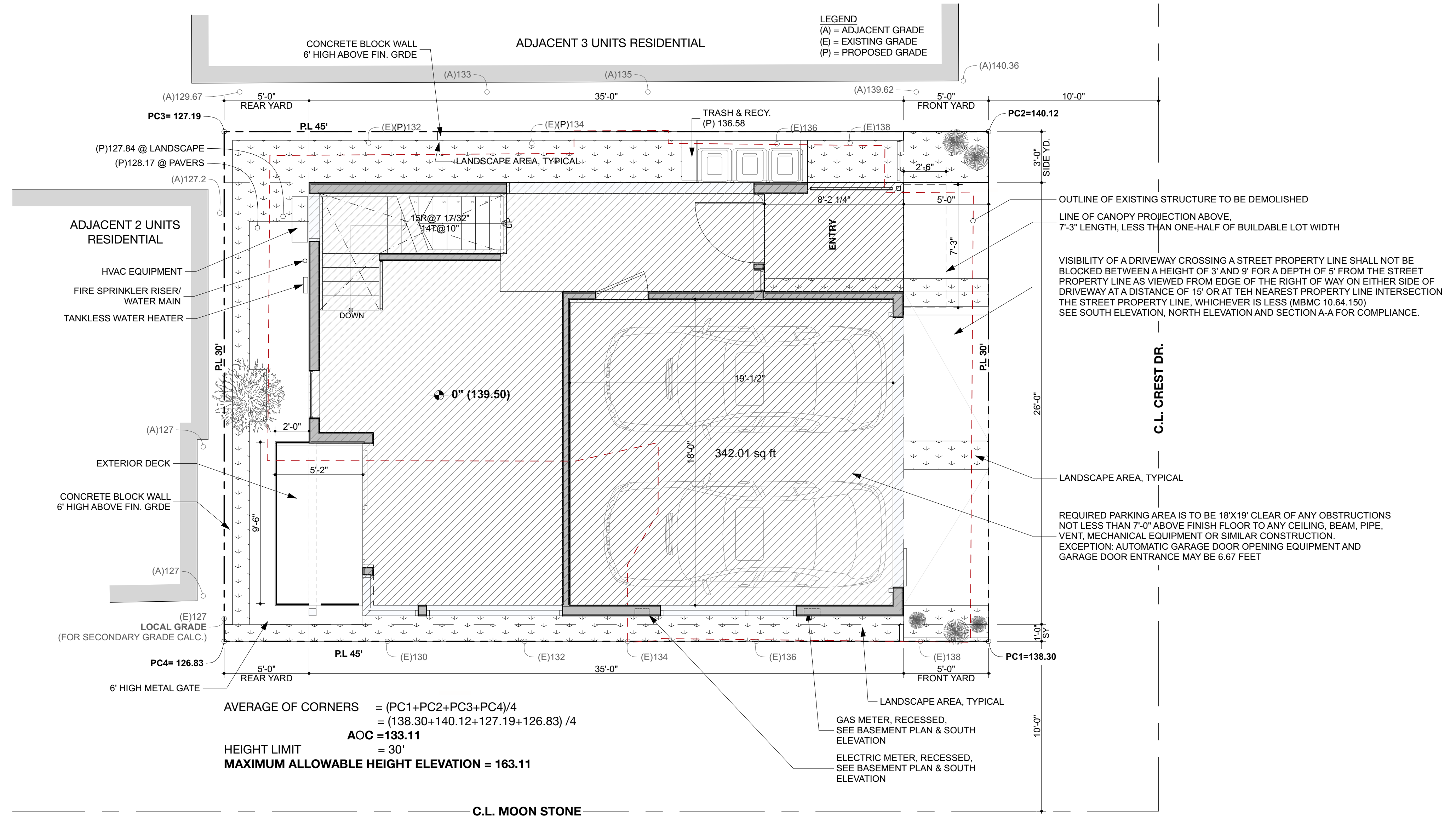
- ▶PERCENT OF AREA COVERED BY BUILDABLE AREA ABOVE =  $50/313 = 16\% < 25\%$  (∴ OK)
- ▶ALLOWABLE BALCONY PROJECTION INTO REQ. YD. =  $1/2 \times \text{BUILDABLE LOT WIDTH} \times 3$   
=  $1/2 \times 13' \times 3 = 39 \text{ SF}$   
BALCONY PROJECTION PROVIDED = 38 SF (19 EACH @ 1ST & 2ND FLR)
- ▶ALLOWABLE BALCONY LENGTH PROJECTION INTO REQ. YD. =  $2/3 \times \text{BUILDABLE LOT WIDTH}$   
=  $2/3 \times 26 = 17.3'$   
BALCONY LENGTH PROVIDED = 9'-6" AT EACH FLOOR

**D10 AREA DIAGRAMS AND CALCULATIONS**

SCALE: 1/8" = 1'-0"

**NOTES**

- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP PF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE, WALL, HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 6' AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN TRAFFIC VISION CLEARANCE TRIANGLE)
- INSTALL ON THE COLD WATER SUPPLY PIPES AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.



AVERAGE OF CORNERS =  $(PC1+PC2+PC3+PC4)/4$   
=  $(138.30+140.12+127.19+126.83) / 4$   
**AOC = 133.11**

HEIGHT LIMIT = 30'  
**MAXIMUM ALLOWABLE HEIGHT ELEVATION = 163.11**

**AVERAGE OF CORNERS**

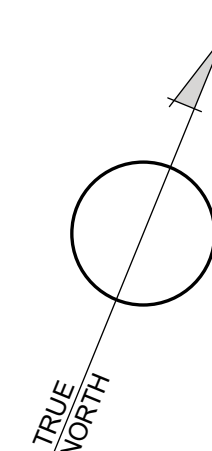
PC1	PC2	PC3	PC4	HT. LIMIT	ALLOWABLE HT. ELEV.
138.30	140.12	127.19	126.83	30	<b>163.11</b>

**SECONDARY HEIGHT CALCULATION**

TOP OF BLDG	LOCAL GRADE	HT. LIMIT	PERCENTAGE
162.92	127	30	<b>19.7%</b>

**SITE PLAN**

SCALE: 1/4" = 1'-0"



670 moulton ave unit 5  
los angeles, ca 90031  
v. 3 2 3 . 4 4 1 . 9 0 7 0  
f. 3 2 3 . 4 4 1 . 9 0 5 8

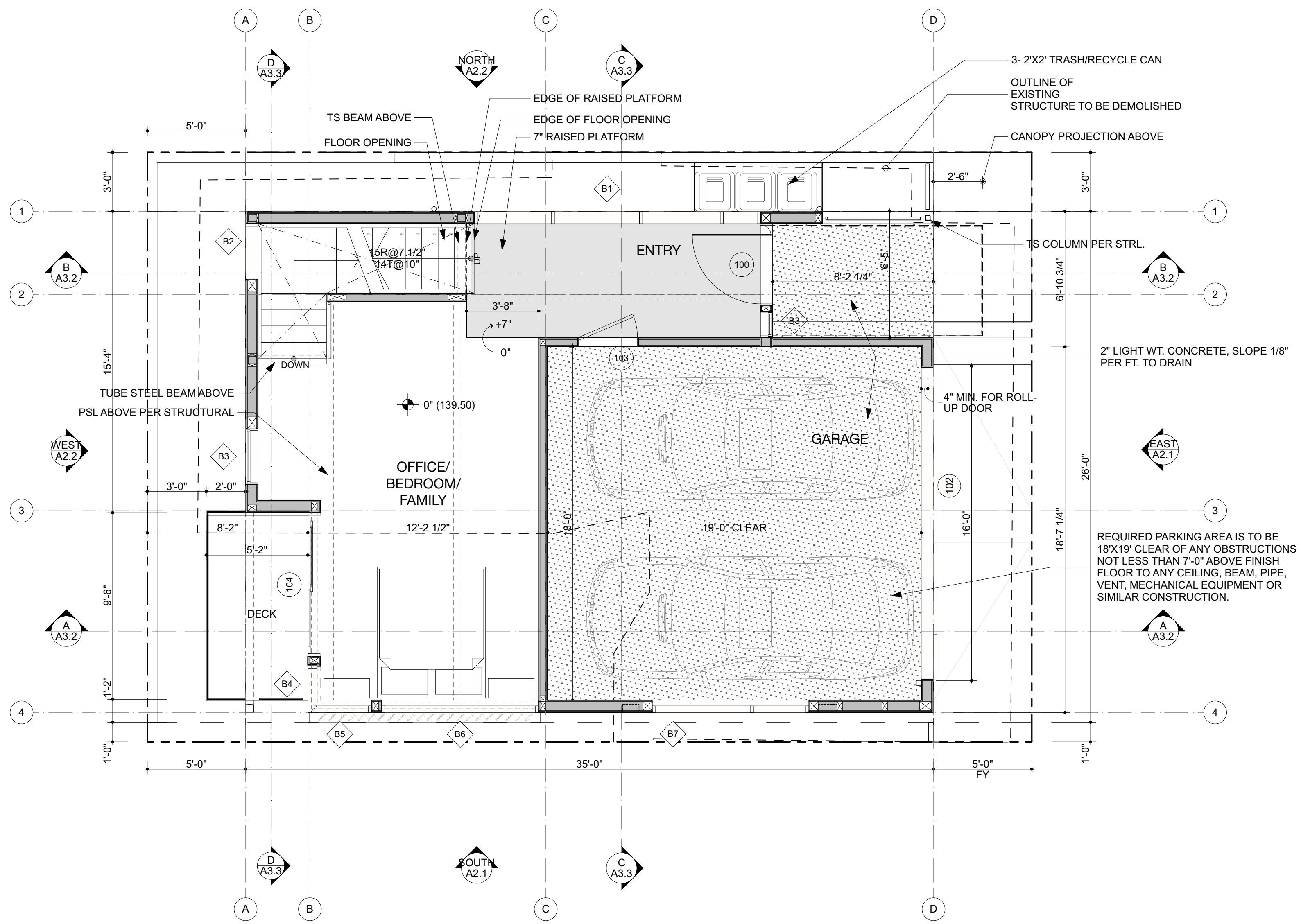
**CREST\_MB**  
4113 CREST DRIVE  
MANHATTAN BEACH, CA 90266

**OWNER:**  
LORA LAVERTY  
47 WEST DIVISION STREET #408  
CHICAGO, IL 60610

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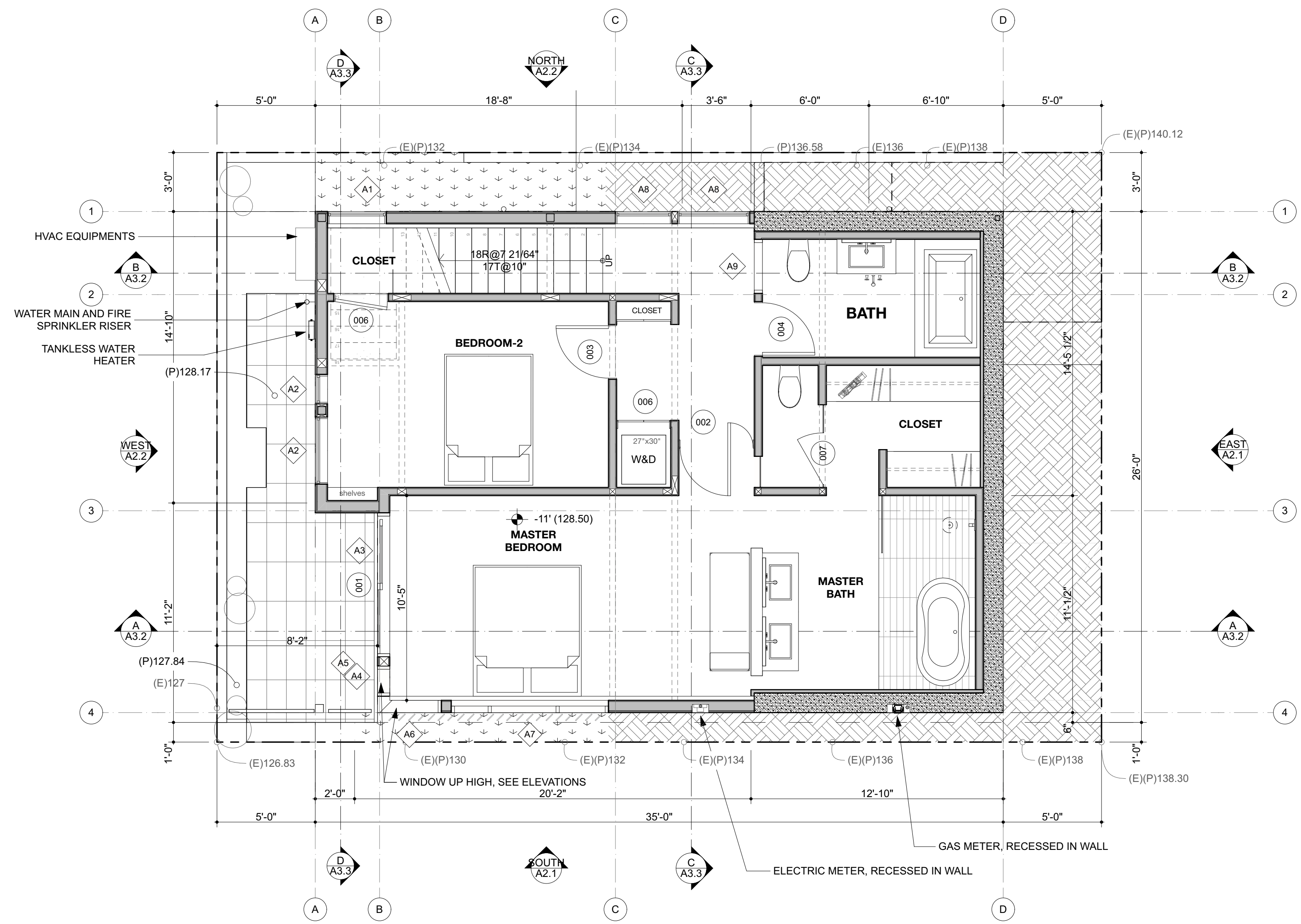
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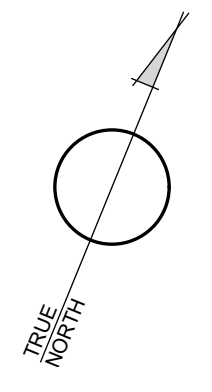
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



BASEMENT

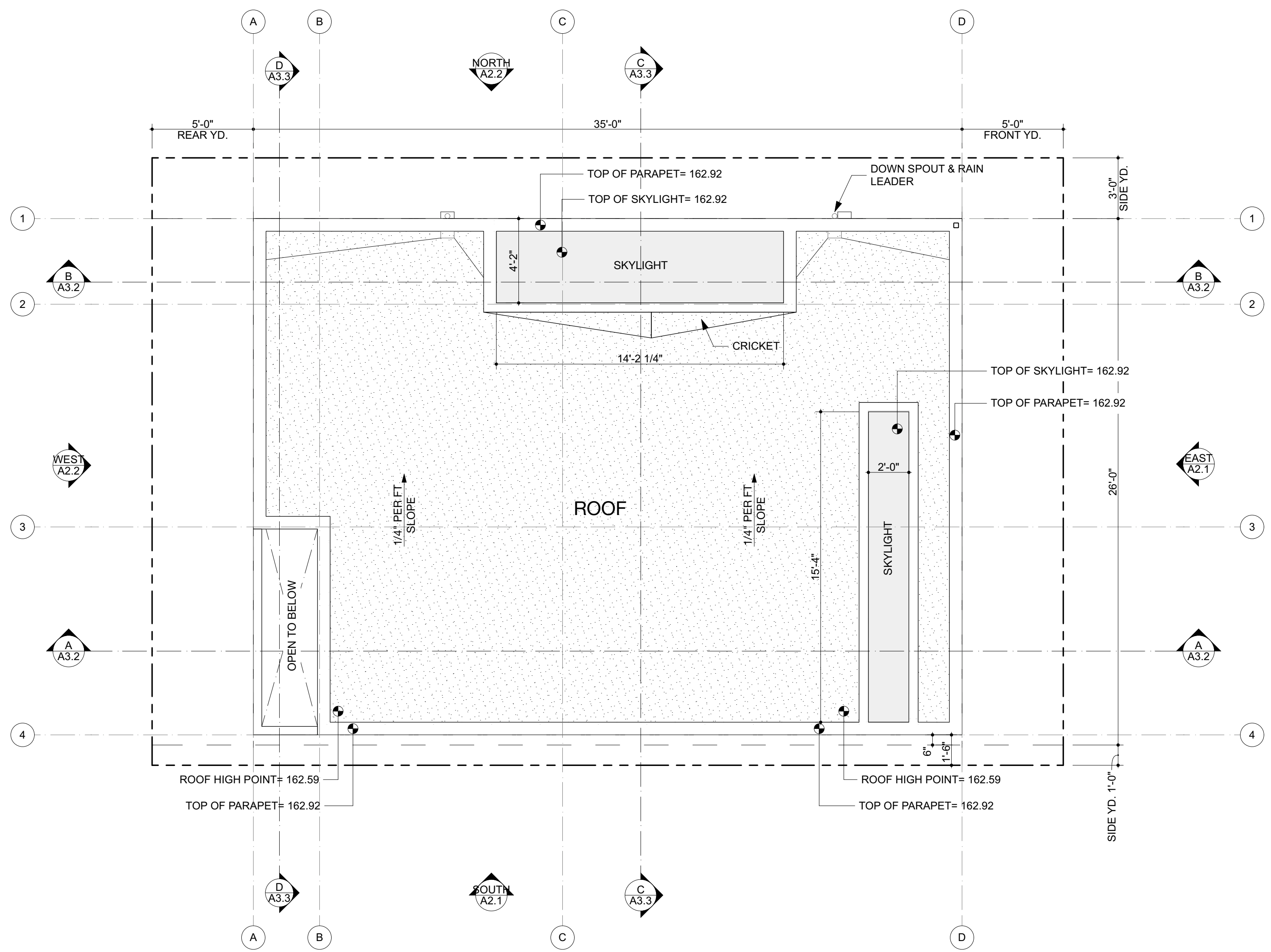
SCALE: 1/4" = 1'-0"



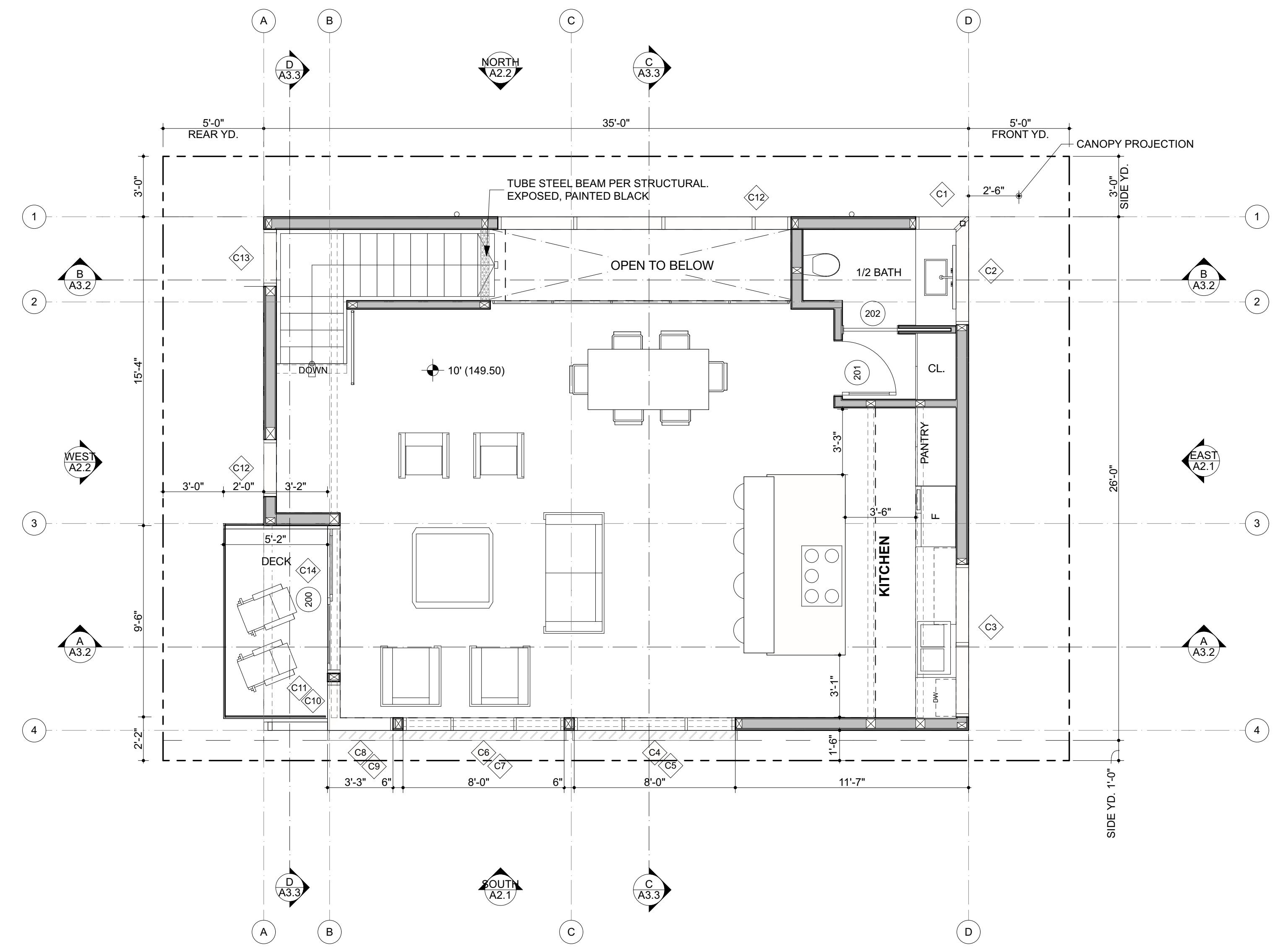
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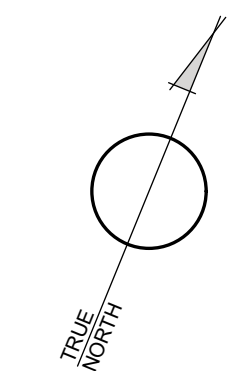




ROOF PLAN  
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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**william adams**  
ARCHITECTS

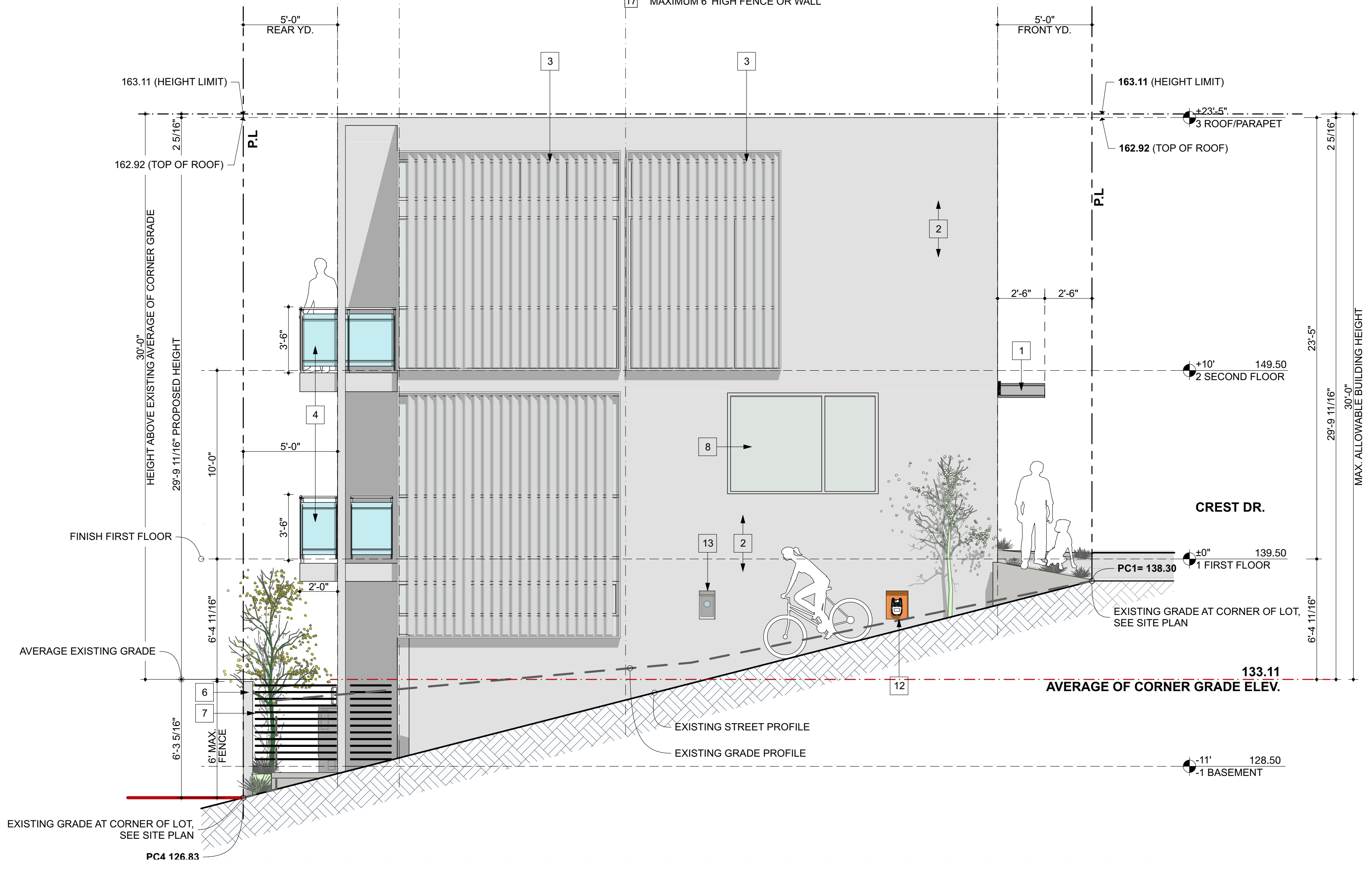
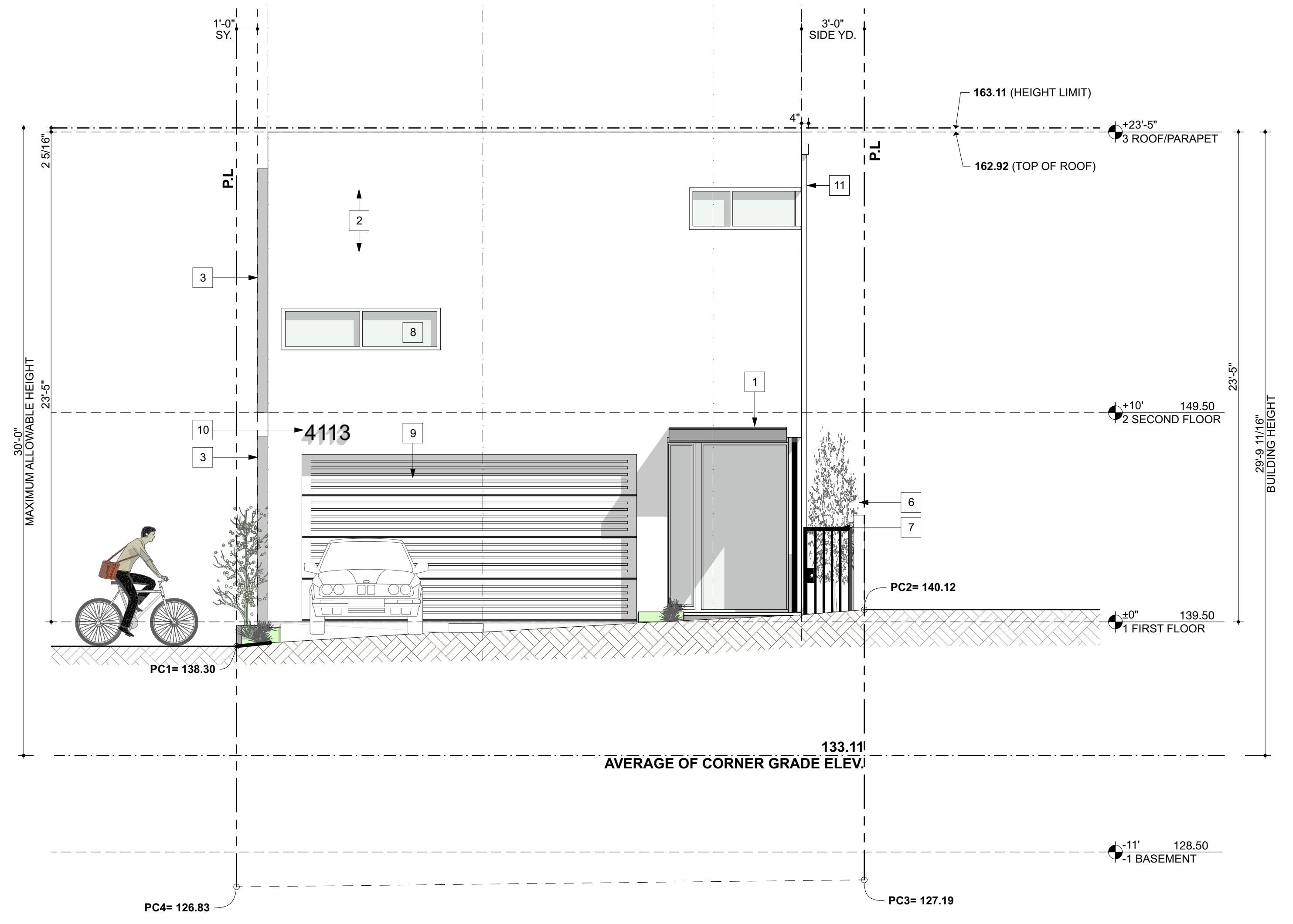
670 moulton ave unit 5  
los angeles, ca 90031

v . 3 2 3 . 4 4 1 . 9 0 7 0  
f . 3 2 3 . 4 4 1 . 9 0 5 8

**CREST\_MB**  
4113 CREST DRIVE  
MANHATTAN BEACH, CA 90266

**KEYNOTES:**

- 1 ENTRY CANOPY, PAINTED STEEL FRAME WITH SAFETY GLASS PANEL INFILL. PAINT COLOR: BENJAMIN MOORE IRONCLAD, DEEP BRONZE.
- 2 EXTERIOR STUCCO SYSTEM, SMOOTH FINISH, LIGHT GREY COLOR.
- 3 EXTERIOR VERTICAL LOUVER SYSTEM, PRODEMA/PRODEX OR APPROVED SIMILAR.
- 4 42" HIGH GLASS GUARDRAIL.
- 5 NOT USED
- 6 CONCRETE BLOCK SITE WALL, 6'-0" MAXIMUM HEIGHT ABOVE FINISHED GRADE.
- 7 METAL SECURITY GATE, PAINTED WITH BENJAMIN MOORE IRONCLAD, DEEP BRONZE.
- 8 ALUMINUM DOOR/WINDOW SYSTEM, CLEAR ANODIZED FINISH.
- 9 GLASS GARAGE DOOR.
- 10 BUILDING ADDRESS, 6" HIGH, WESTON LETTERS, STYLE DEEP RIBBON, CLEAR ANODIZED ALUMINUM. WWW.WESTONLETTERS.COM
- 11 3" DIA. DOWN SPOUT AND 10"x10"x4" RAIN LEADER
- 12 GAS METER, RECESSED IN WALL
- 13 ELECTRIC METER RECESSED IN WALL
- 14 HVAC EQUIPMENTS IN REAR YARD, AWAY FROM PUBLIC VIEWS
- 15 TANKLESS WATER HEATER
- 16 WATER MAIN AND FIRE SPRINKLER RISER LOCATION
- 17 MAXIMUM 6' HIGH FENCE OR WALL



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

**STYLE AND CONSTRUCTION**

- ANODIZED ALUMINUM
- INSULATED GLASS
- WEATHER SEAL

- Aluminum frame provides a virtually maintenance-free, long-lasting door.
- Tempered glass, acrylic or solid aluminum panel options. Insulated glass is also available for increased energy efficiency.
- Integral reinforcing fin provides increased strength and longevity.
- Heavy-duty steel ball bearing rollers with nylon tires provide quiet operation.

*See your Display Dealer for WhiteCool™ availability.*



**GARAGE DOOR ELEVATION**

**GARAGE DOOR DETAIL**

**NOTE:**  
 (A) MAXIMUM ALLOWABLE HEIGHT ELEVATION = 163.11  
 (B) PROPOSED HEIGHT ELEVATION = 162.92 (AT TOP OF PARAPET WALL)  
 (C) FINISHED GROUND FLOOR ELEVATION = 139.50  
 (D) FIRST FLOOR TO TOP OF PARAPET DIMENSION (B-C) = 23.42' OR 23'5"  
 (E) PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENTS MUST BE WITHIN THE HEIGHT LIMIT.  
 (F) CHIMNEYS MAY EXCEED THE MAXIMUM PERMITTED HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT EXCEED 3 AND 5 FEET RESPECTIVELY (MBMC 10.60.060)

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**KEYNOTES:**

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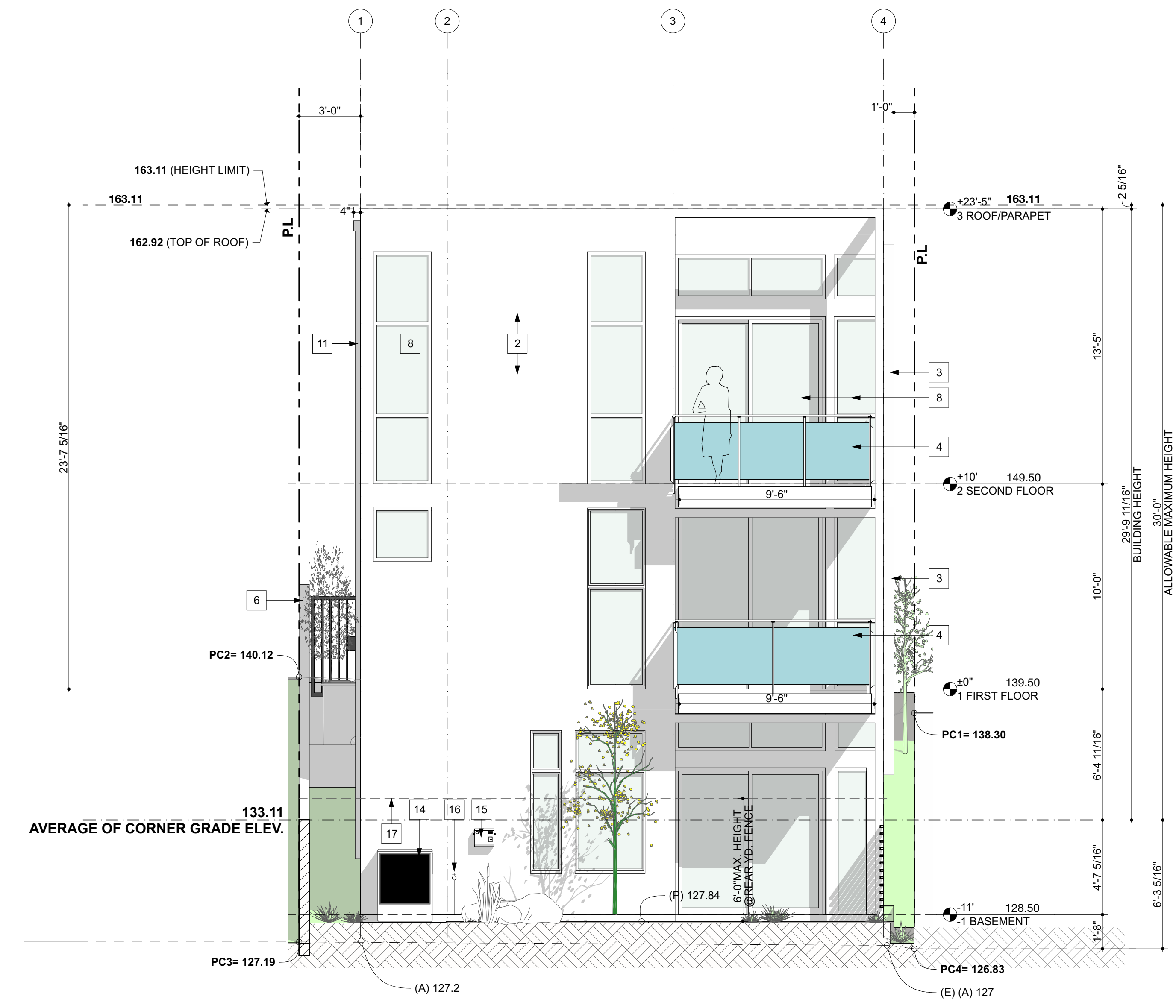
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**william adams**  
 ARCHITECTS  
 670 moulton ave unit 5  
 los angeles, ca 90031  
 v . 3 2 3 . 4 4 1 . 9 0 7 0  
 f . 3 2 3 . 4 4 1 . 9 0 5 8  
**CREST\_MB**  
 4113 CREST DRIVE  
 MANHATTAN BEACH, CA 90266



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

NOTE:  
 (A) MAXIMUM ALLOWABLE HEIGHT ELEVATION = 163.11  
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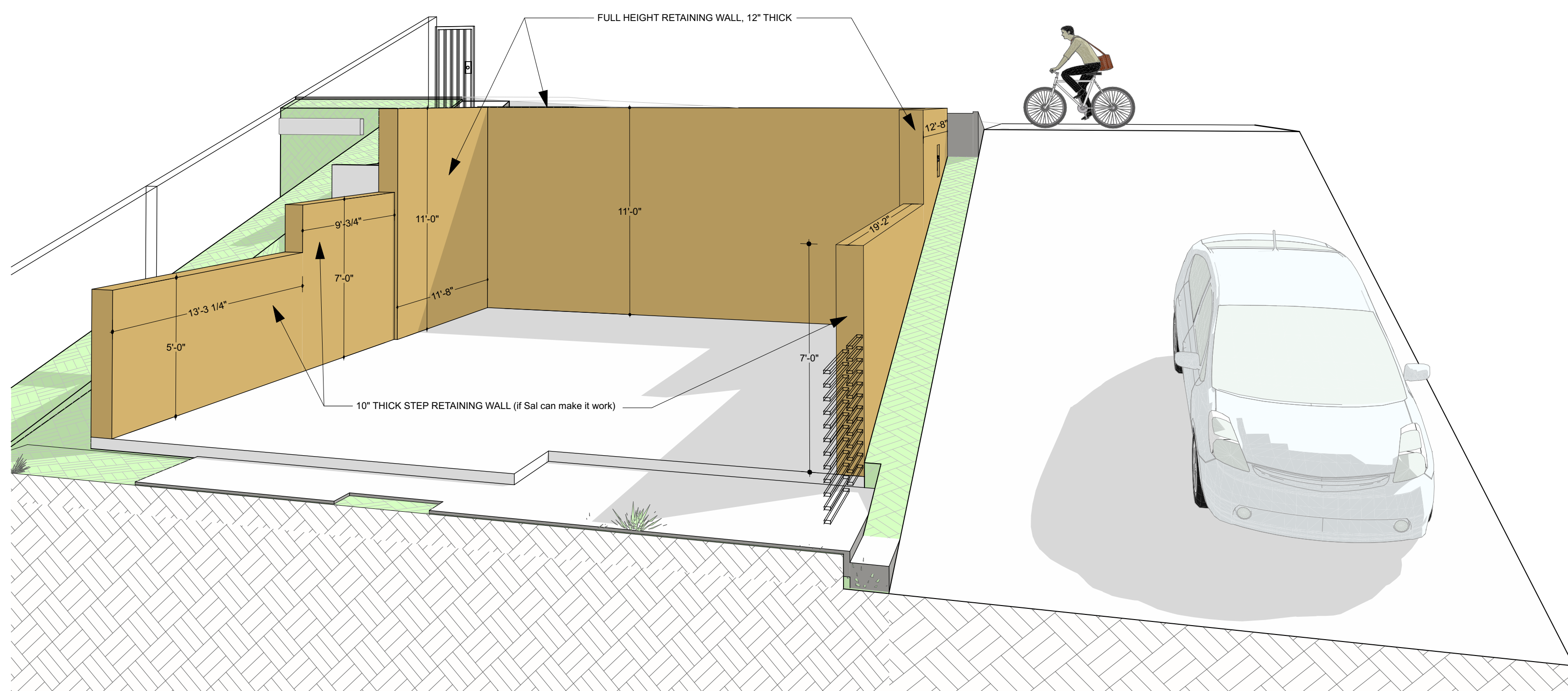




PERSPECTIVE SECTION: 2 SECTION - 2  
1:56.47



PERSPECTIVE SECTION: 1 SECTION - 1  
1:56.47



STEPPED RETAINING WALL  
1" = 5'



670 moulton ave unit 5  
los angeles, ca 90031  
v . 3 2 3 . 4 4 1 . 9 0 7 0  
f . 3 2 3 . 4 4 1 . 9 0 5 8

**CREST\_MB**  
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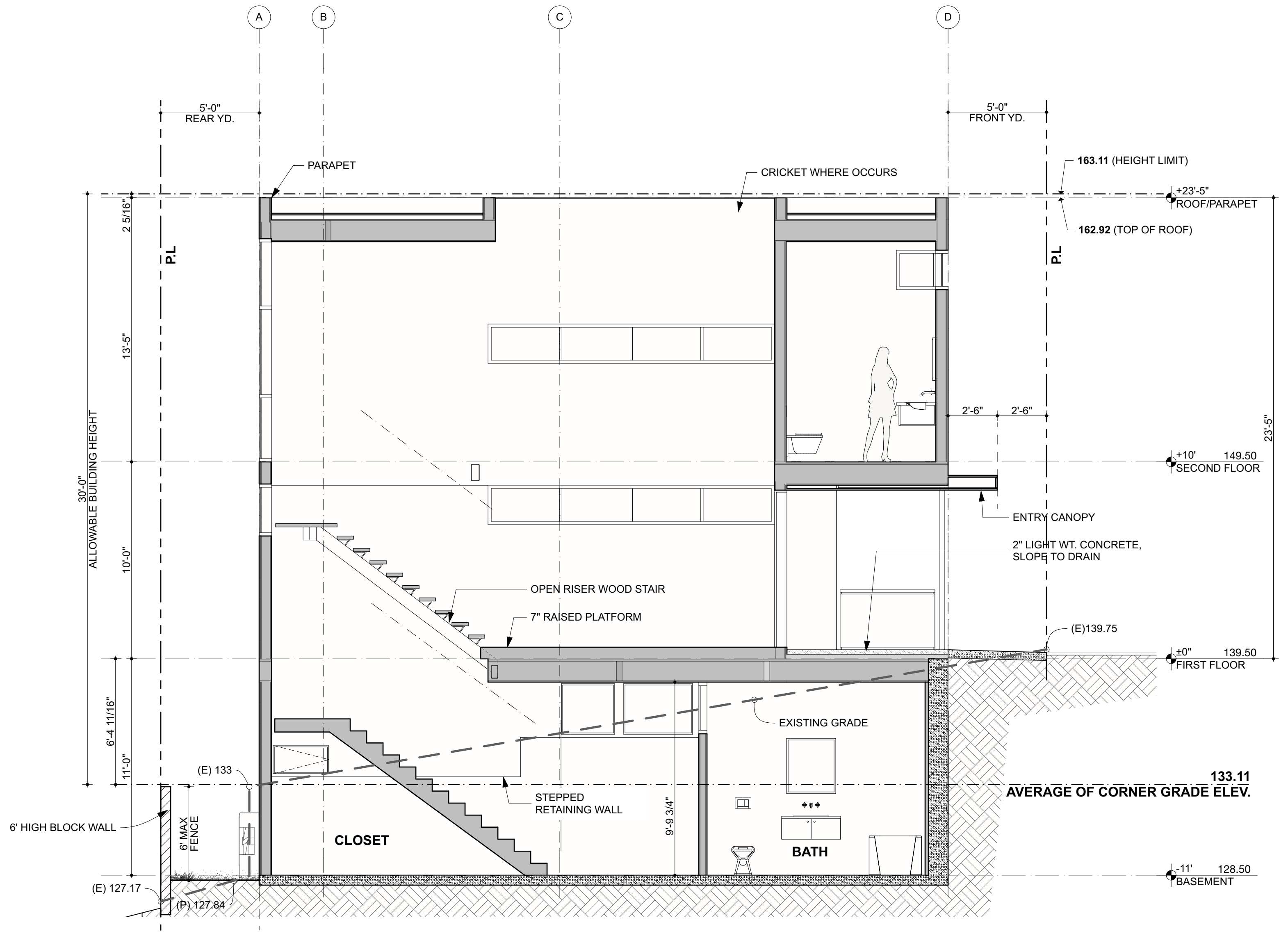
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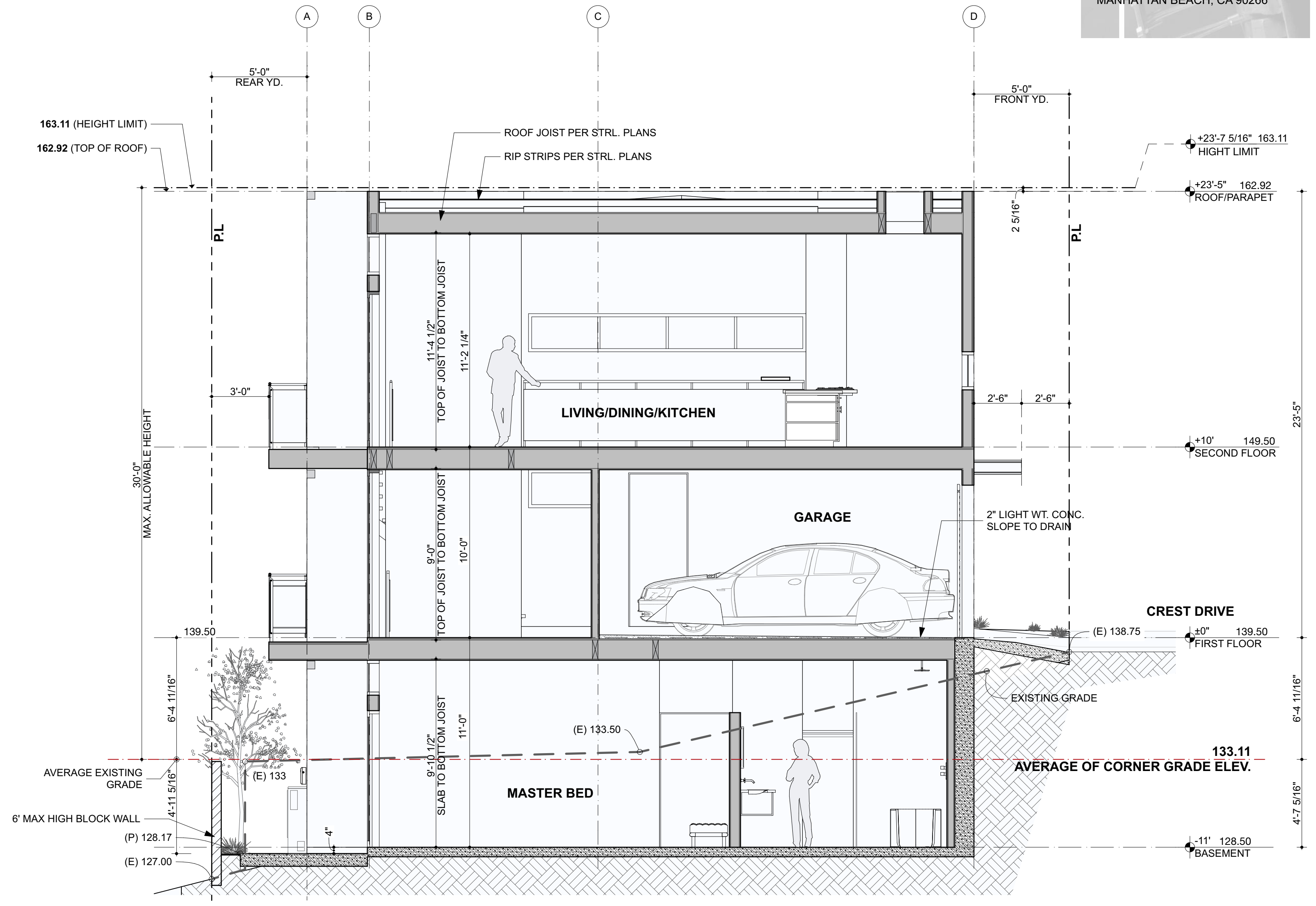
REFERENCE PERSPECTIVES, NOT FOR PLAN CHECK OR CONSTRUCTION





SECTION B-B

SCALE: 1/4" = 1'-0"



SECTION A-A

SCALE: 1/4" = 1'-0"

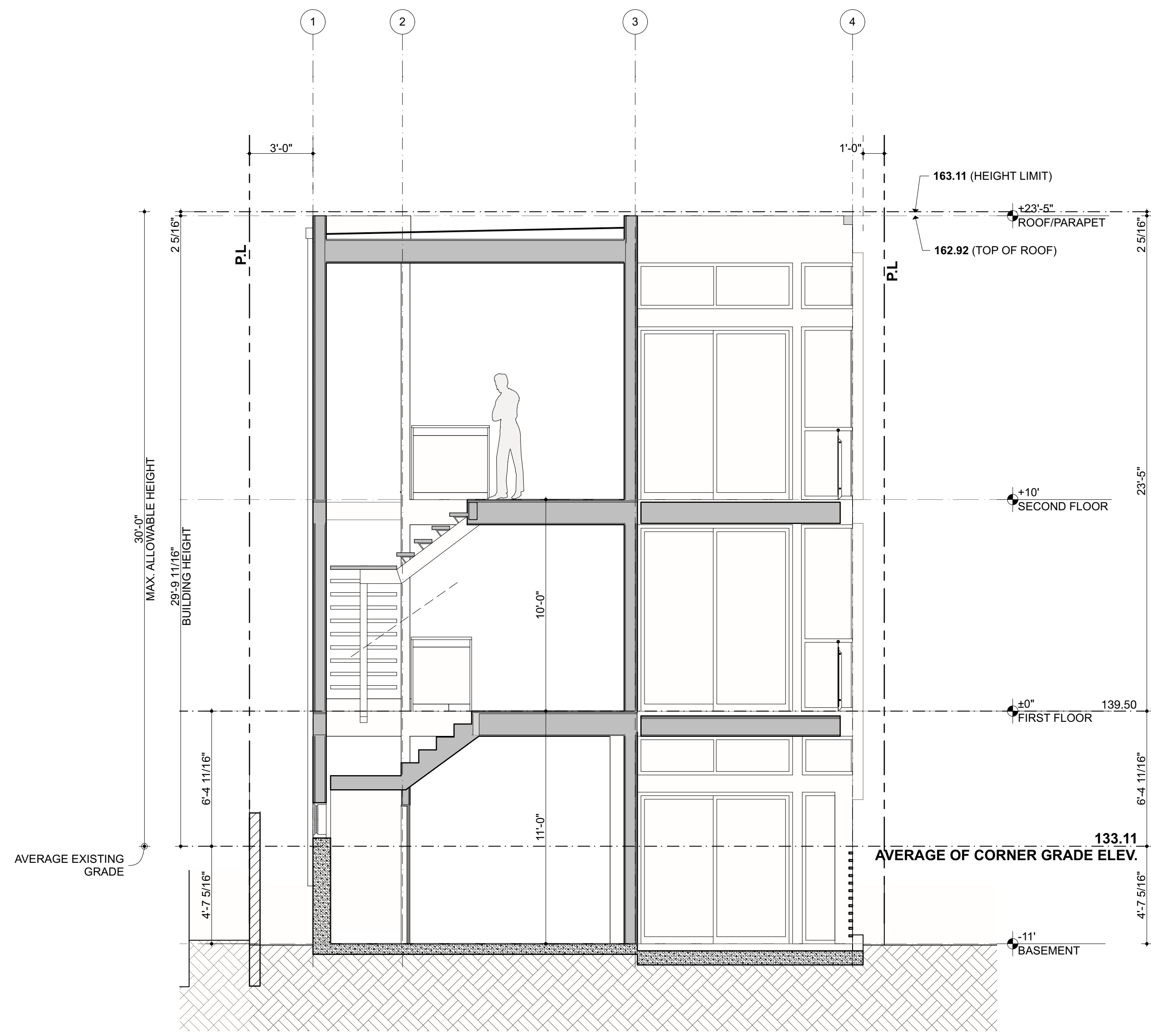
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 (F) CHIMNEYS MAY EXCEED THE MAXIMUM PERMITTED HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT EXCEED 3 AND 5 FEET RESPECTIVELY (MBOC 10.60.060)

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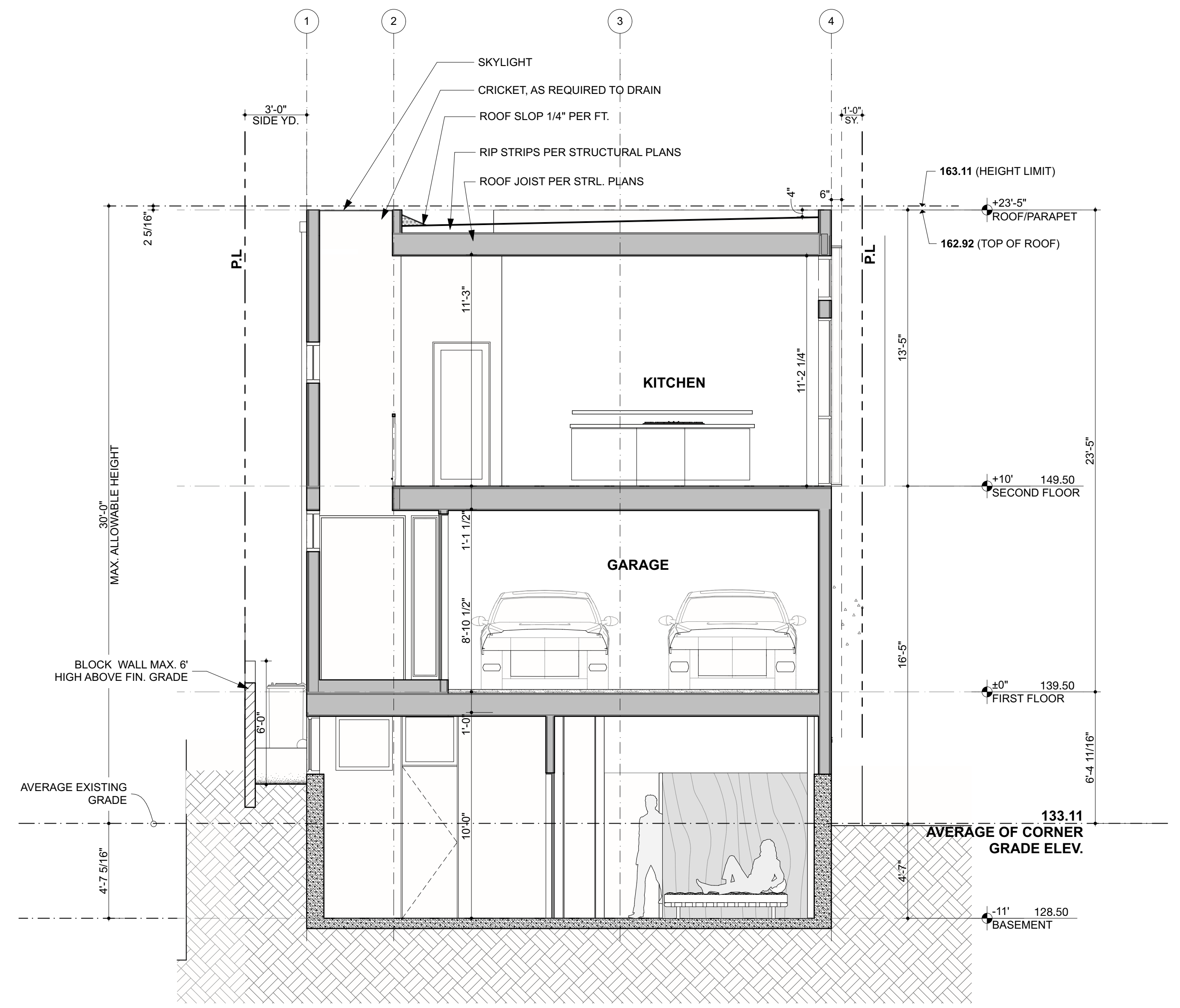
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SECTION D-D  
SCALE: 1/4" = 1'-0"



SECTION C-C  
SCALE: 1/4" = 1'-0"

NOTE:  
 (A) MAXIMUM ALLOWABLE HEIGHT ELEVATION = 163.11  
 (B) PROPOSED HEIGHT ELEVATION = 162.92 (AT TOP OF PARAPET WALL)  
 (C) FINISHED GROUND FLOOR ELEVATION = 139.50  
 (D) FIRST FLOOR TO TOP OF PARAPET DIMENSION (B-C) = 23.42' OR 23'5".  
 (E) PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENTS MUST BE WITHIN THE HEIGHT LIMIT.  
 (F) CHIMNEYS MAY EXCEED THE MAXIMUM PERMITTED HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT EXCEED 3 AND 5 FEET RESPECTIVELY (MBMC 10.60.060)



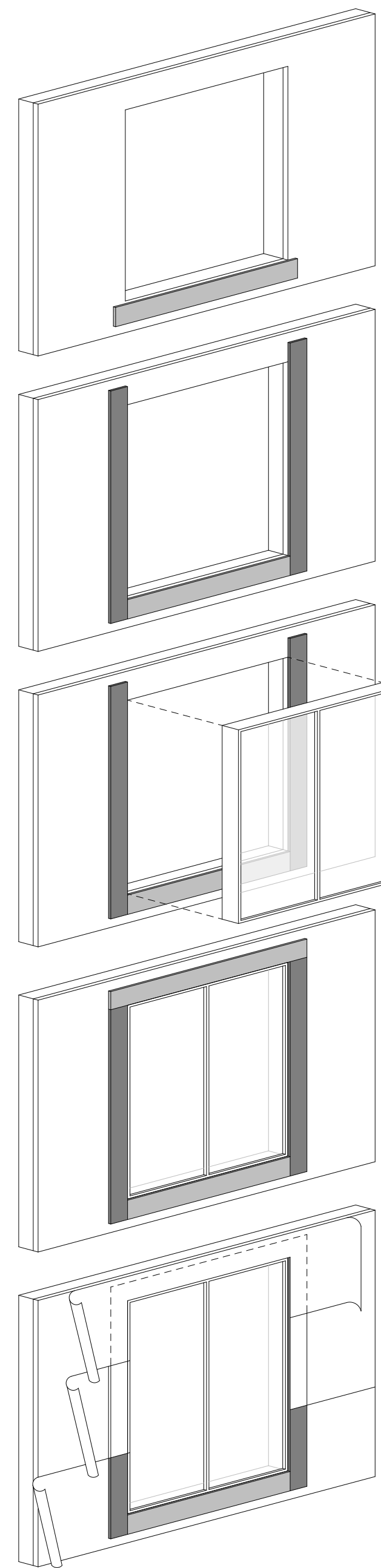
670 moulton ave unit 5  
 los angeles, ca 90031  
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 f . 3 2 3 . 4 4 1 . 9 0 5 8

**CREST\_MB**  
 4113 CREST DRIVE  
 MANHATTAN BEACH, CA 90266  
**OWNER:**  
 LORA LAVERTY  
 47 WEST DIVISION STREET #408  
 CHICAGO, IL 60610

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SLOPE FRAMING @ SILL 1/4" TOWARD THE EXTERIOR

JAMB FLASHING WILL BE APPLIED BEFORE THE WINDOW OR BEHIND THE FACE MOUNTING FLANGE

WEATHER RESISTANT BARRIER (WRB) IS TO BE APPLIED AFTER THE WINDOW INSTALLATION

INSTALL SILL FLASHING FLUSH WITH TOP OF THE ROUGH OPENING SILL. FASTEN ONLY AT THE TOP TO ALLOW WEATHER-BARRIER TO BE SLID UNDER LATER.

INSTALL JAMB FLASHING TO THE WALL. APPLY A LIBERAL BEAD OF FLEXIBLE SEALANT TO THE BACKSIDE OF THE NAILING FLANGE (ALL FOUR SIDES) DIRECTLY OVER THE PRE-PUNCHED HOLES. ENSURE SEALANT IS COMPATIBLE WITH WINDOW MATERIAL TYPE, I.E. PVC

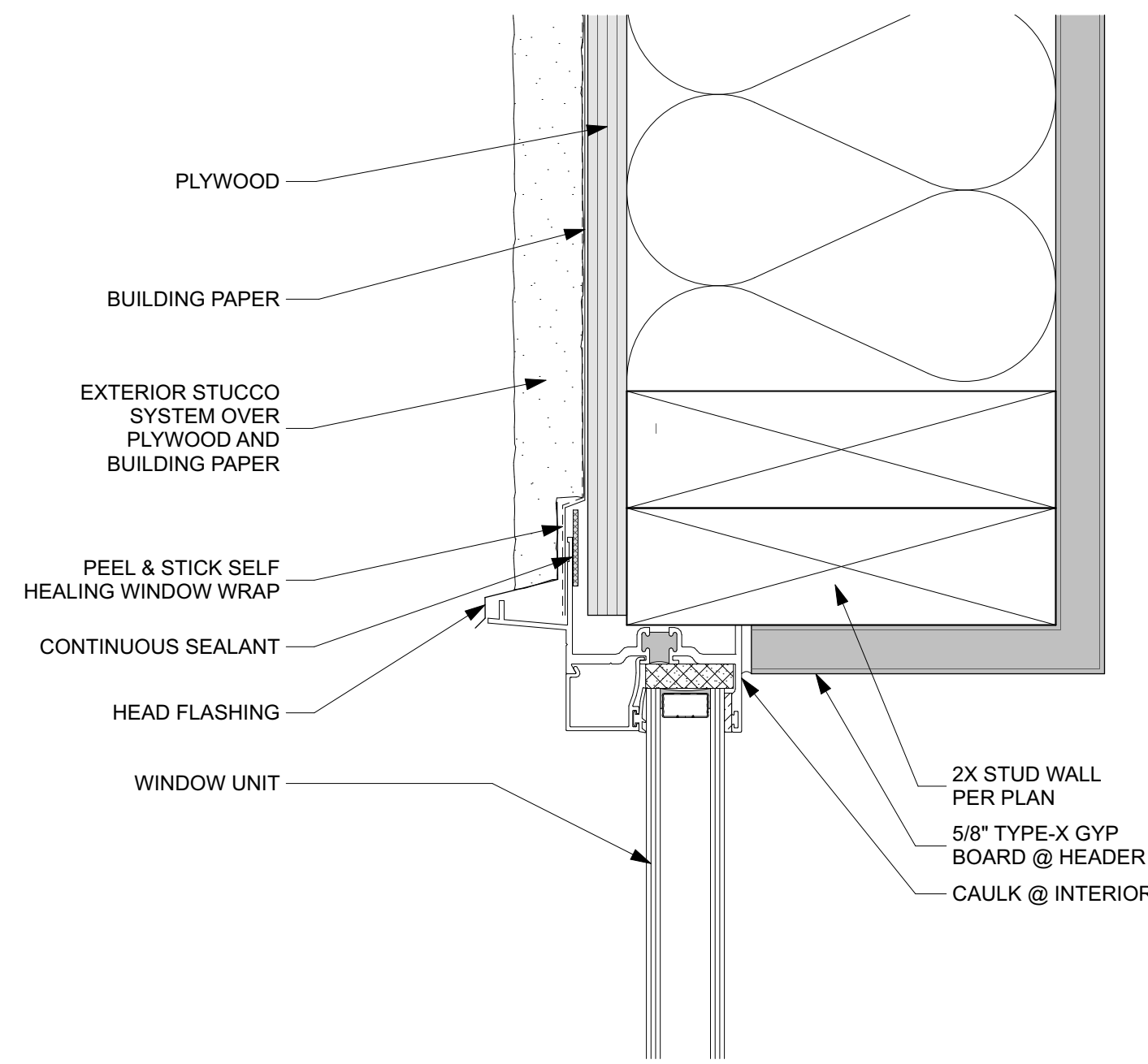
ALTERNATIVELY: APPLY SEALANT TO THE WALL WHERE WINDOW FLANGE WILL MEET THE LINE OF PRE-PUNCHED HOLES. APPLY SHIMS TO SILL AS PER AVAILABLE DIAGRAMS. SHIMS ARE USED TO TRANSFER STRUCTURAL LOAD TO THE ROUGH OPENING. ENSURE WINDOW IS CENTERED IN THE OPENING AND IS LEVEL, PLUMB AND SQUARE.

INSTALL FLEXIBLE HEAD FLASHING COMPRESSED INTO SEALANT. INSTALL PROPERLY PROFILED DRIP CAP EXTENDING 1/2 INCH PASSED EACH SIDE OF WINDOW FOR RUN OFF.

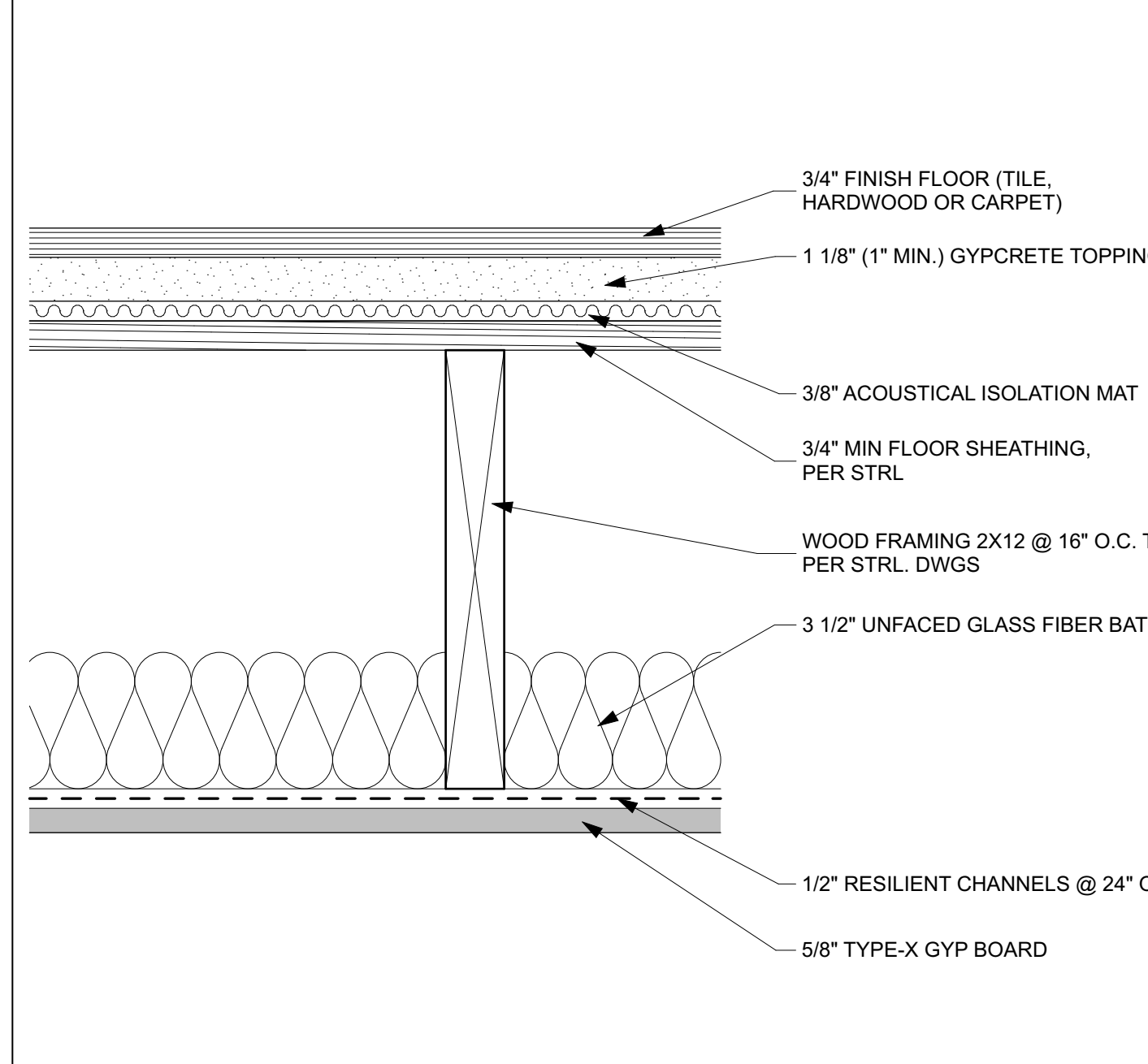
INSTALL WEATHER BARRIER IN SHINGLED FASHION WITH PROPER OVERLAP DISTANCES. RESEARCH PROPER WEATHER BARRIERS TO ENSURE COMPATIBILITY WITH THE SYSTEM.

**WINDOW INSTALLATION NOTES:**

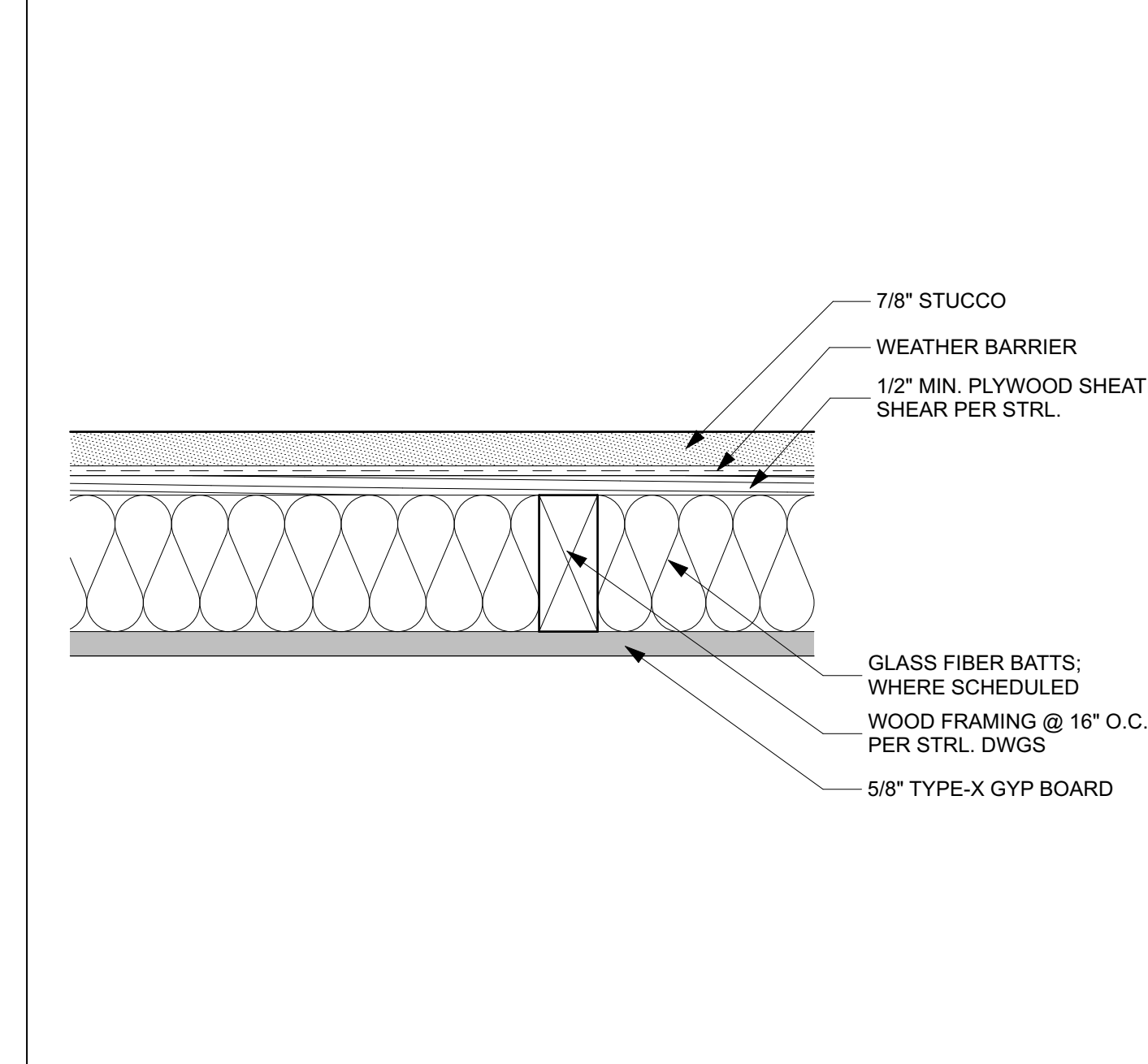
- ELASTOMERIC SELF-ADHERED FLASHING (SAF) IS RECOMMENDED FOR EASE OF INSTALLATION AND FOR THE SELF-HEALING NATURE OF THE MATERIAL AROUND FASTENER PENETRATIONS. FLASHING MATERIAL SHOULD BE MINIMUM 9" IN WIDTH (INDUSTRY STANDARD) AS RECOMMENDED BY ASTM AND AAMA.
- FLASHING SHOULD BE APPLIED OVER SOLID BACKING PER MANUFACTURER'S RECOMMENDATIONS.
- AT SELF-ADHERED SILL FLASHING, LEAVE THE LOWER 2" (MINIMUM) OF THE RELEASE LINER IN PLACE, ALLOWING THE WATER-RESISTIVE BARRIER TO BE SLIPPED UNDER FOR PROPER LAPPING. REMOVE LINER AND ADHERE TO WATER-RESISTIVE BARRIER.
- SELF-ADHERED FLASHING (SAF) SHOULD BE APPLIED WITH A J-ROLLER MADE OF STEEL OR HARD RUBBER TO ENSURE PROPER ADHESION TO THE WINDOW NAILING FLANGE, SUBSTRATE, FLASHINGS AND WATER-RESISTIVE BARRIERS.
- AT STUCCO INSTALLATIONS WITHOUT SOLID HEAD TRIM, WINDOW HEADS SHALL BE FITTED WITH GSM 'Z' DRIP FLASHING AND DOOR HEADS BE FITTED WITH A WEEPING J-MOLD SET IN A BED OF SEALANT. LAP HEAD FLASHING OVER GSM FLANGE.
- IF USING 2 LAYERS OF FLASHING, IT IS RECOMMENDED TO ALLOW THE SEALANT CURE A MINIMUM OF 48 HOURS PRIOR TO THE SECONDARY APPLICATION OF SAF.
- PROHIBIT THE PENETRATION OF WINDOW AND SLIDING GLASS DOOR ATTACHMENT FLANGES BY LATH OR TRIM FASTENER.
- WINDOW AND DOOR INSTALLATION SHALL MEET NATIONAL STANDARDS ASTM E2112 AND AAMA 2400-10.
- ALL PRODUCTS, INCLUDING FLASHING AND SEALANTS, SHOULD BE CHEMICALLY COMPATIBLE AND INSTALLED WITHIN THE TEMPERATURE RANGE AND CONDITIONS RECOMMENDED. ALWAYS REFER TO THE SPECIFIC MANUFACTURER'S REQUIREMENTS.
- THERMAL/ACOUSTIC INSULATION IS RECOMMENDED AROUND WINDOW AND DOOR FRAMES AT VOIDS TO ROUGH OPENINGS (BETWEEN SHIMS). NON-EXPANDING OR LOW-EXPANSION INSULATION FOAM IS OK.
- EXTERIOR WALL-MOUNTED VENTS, UTILITY VAULTS, FIRE EXTINGUISHER CABINETS, QUICKFLASH PANELS, SCUPPERS AND OTHER FLANGED SURFACE-MOUNTED ASSEMBLIES SHOULD BE FLASHED AS A WINDOW.
- PROHIBIT VERTICAL LAPS IN WATER-RESISTIVE BARRIER ABOVE AND BELOW WINDOWS AND WITHIN 24" OF JAMBS (SIMILAR FOR DOORS).
- RECESSED WINDOW 'POT SHELVES' SHOULD BE FITTED WITH A FULL 'PAN' OF SAF. PROVIDE SHEATHING AND/OR SIDEWALL BLOCKING NECESSARY TO SUPPORT SAF.



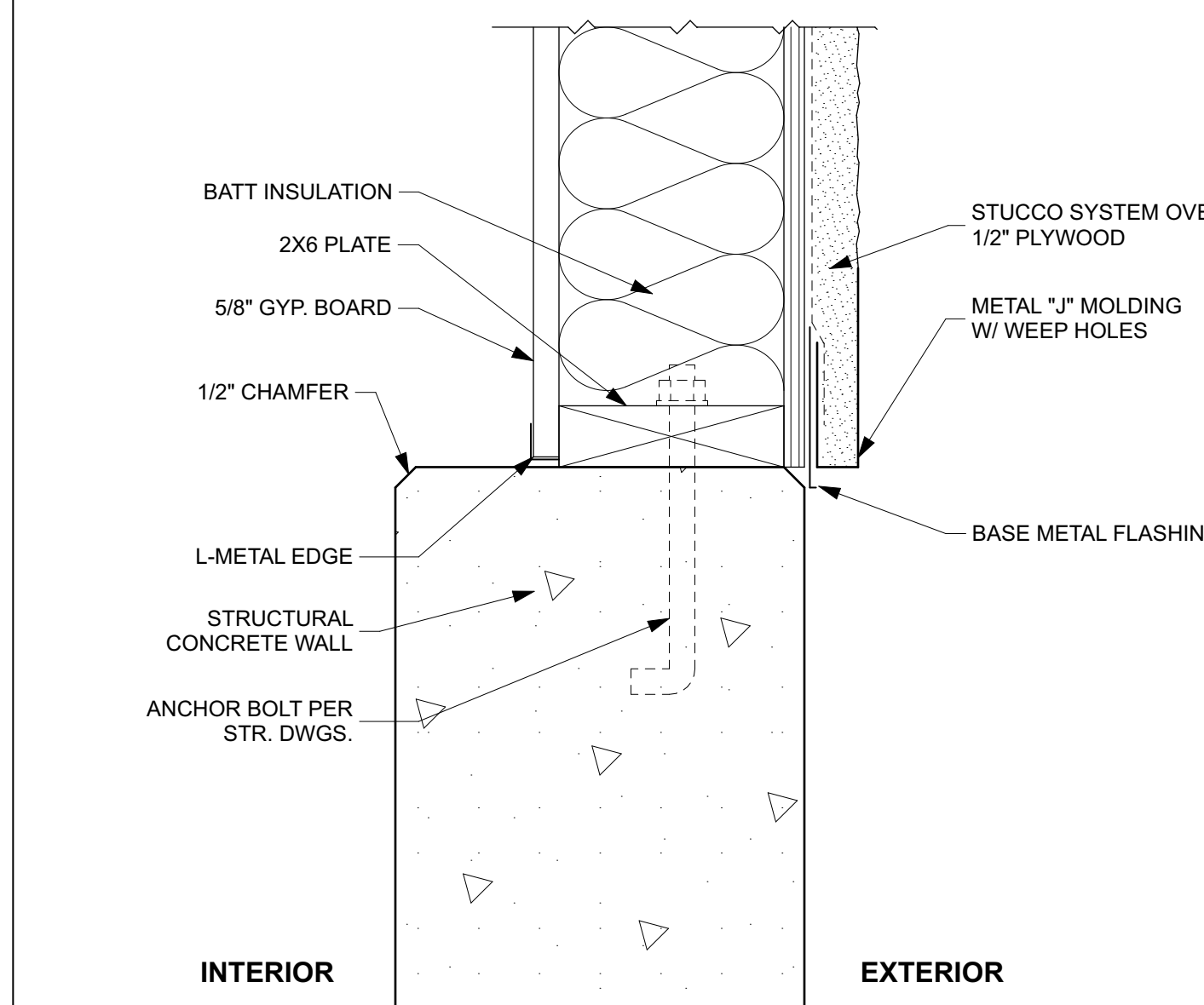
D07 WINDOW HEAD DETAIL SCALE: 6" = 1'-0"



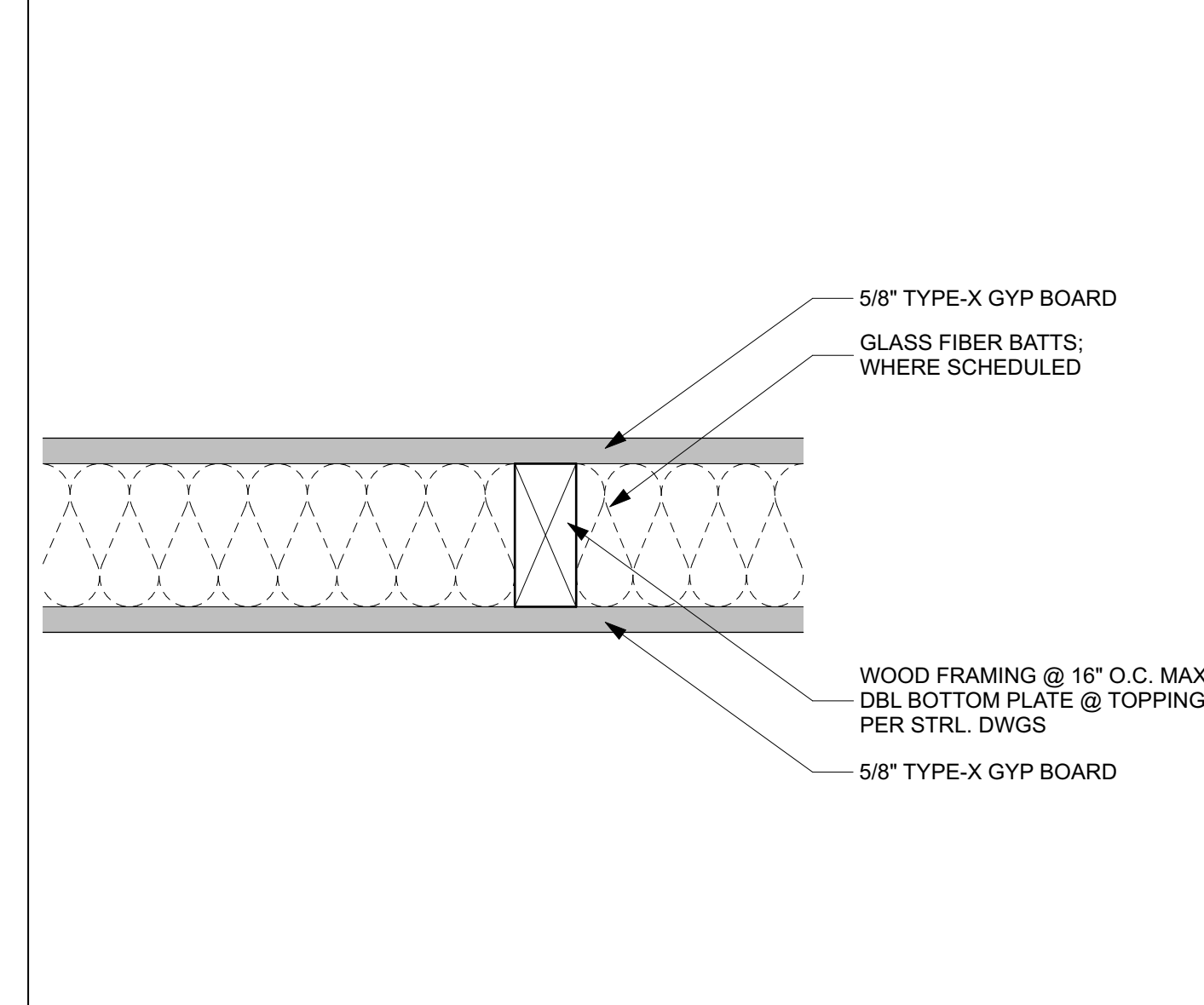
D04 1 HR FLOOR/CEILING DETAIL SCALE: 3" = 1'-0"



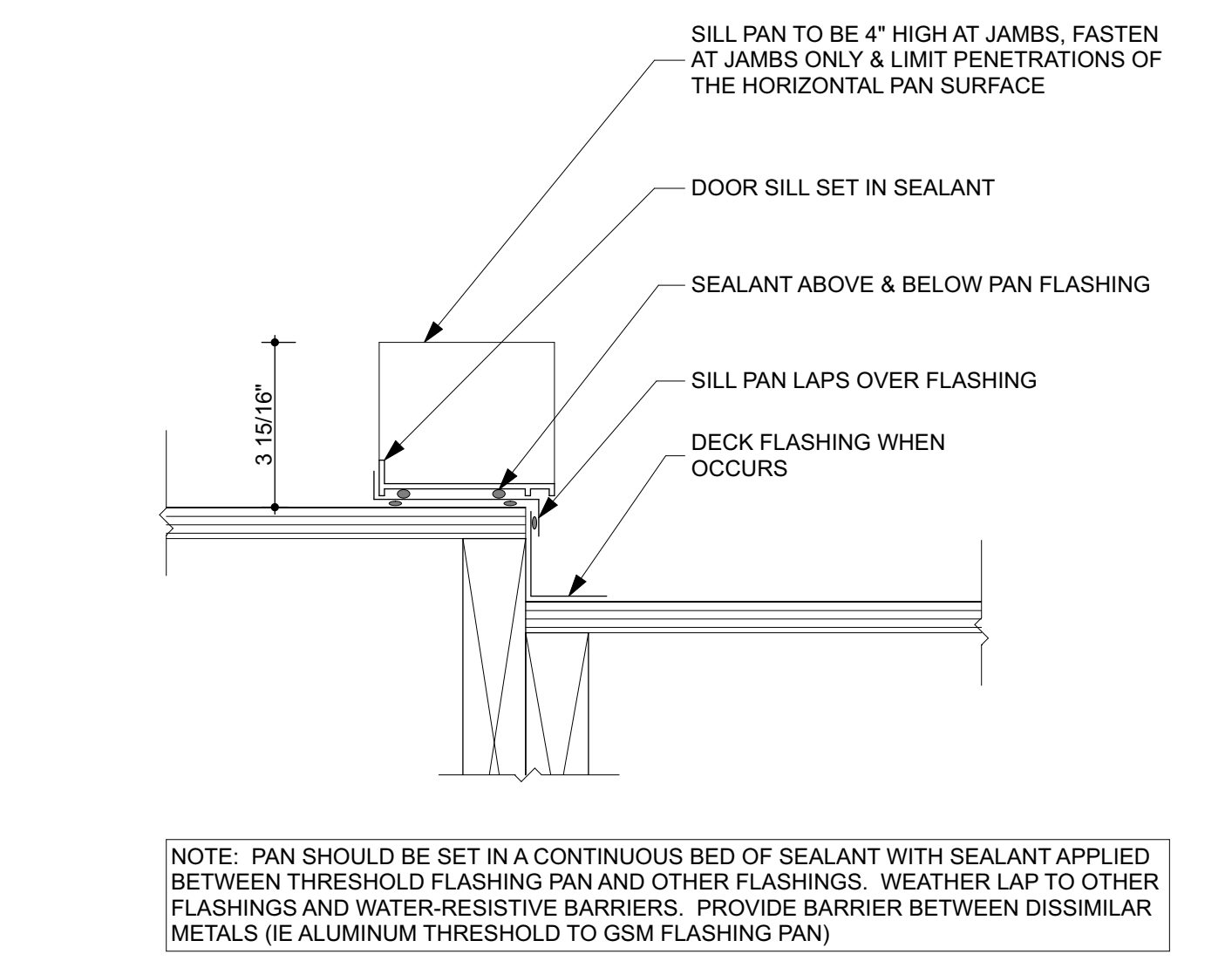
D01 1HR EXTERIOR WALL DETAIL SCALE: 3" = 1'-0"



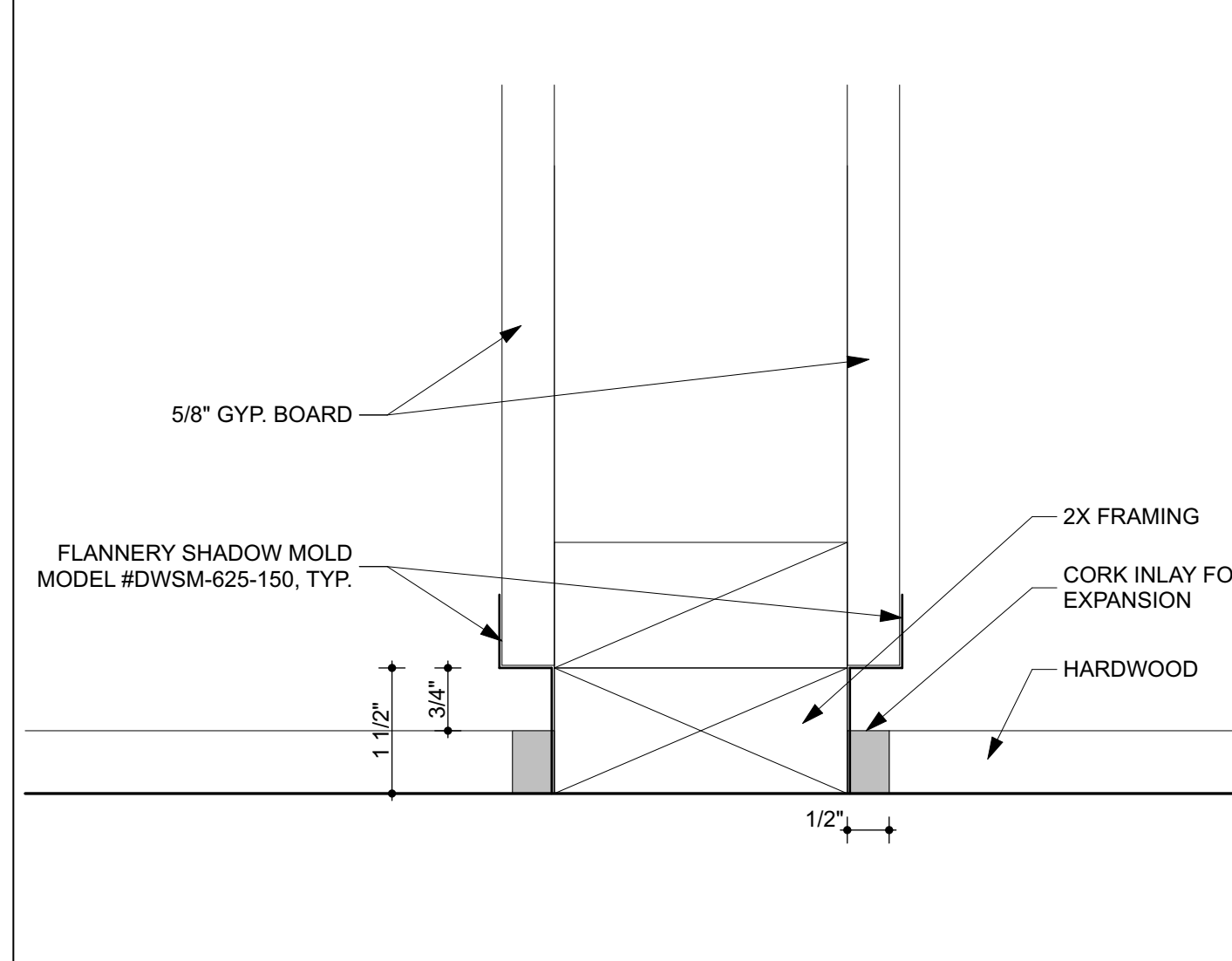
D05 CONCRETE WALL TO STUD WALL SCALE: 3" = 1'-0"



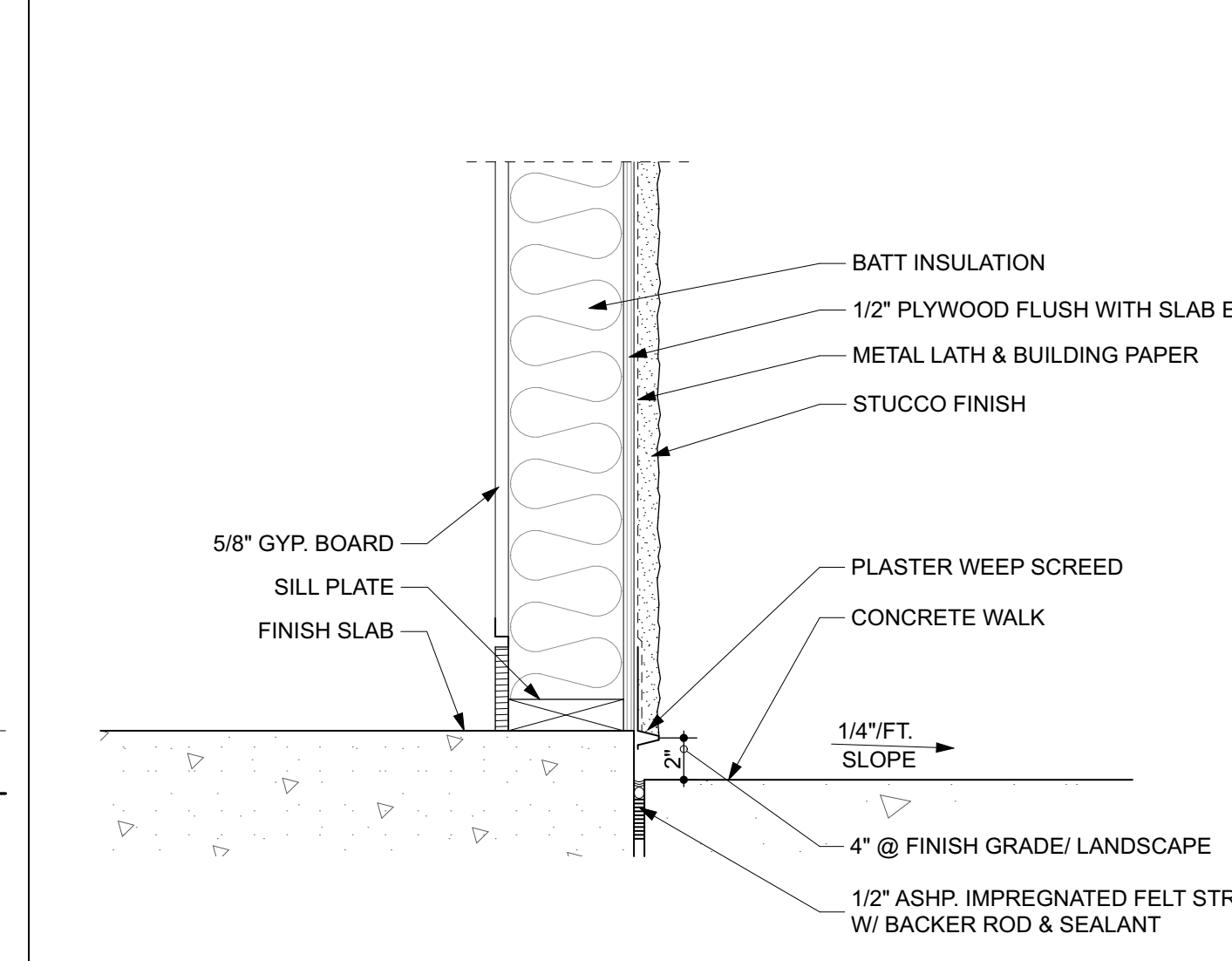
D02 1HR INTERIOR WALL DETAIL SCALE: 3" = 1'-0"



D09 DOOR PAN @ THRESHOLD SCALE: 3" = 1'-0"



D06 INTERIOR WALL BASE SCALE: 6" = 1'-0"



D03 STUCCO WALL BASE DETAIL SCALE: 1 1/2" = 1'-0"

**william adams**  
ARCHITECTS

**670 moulton ave unit 5**  
los angeles, ca 90031

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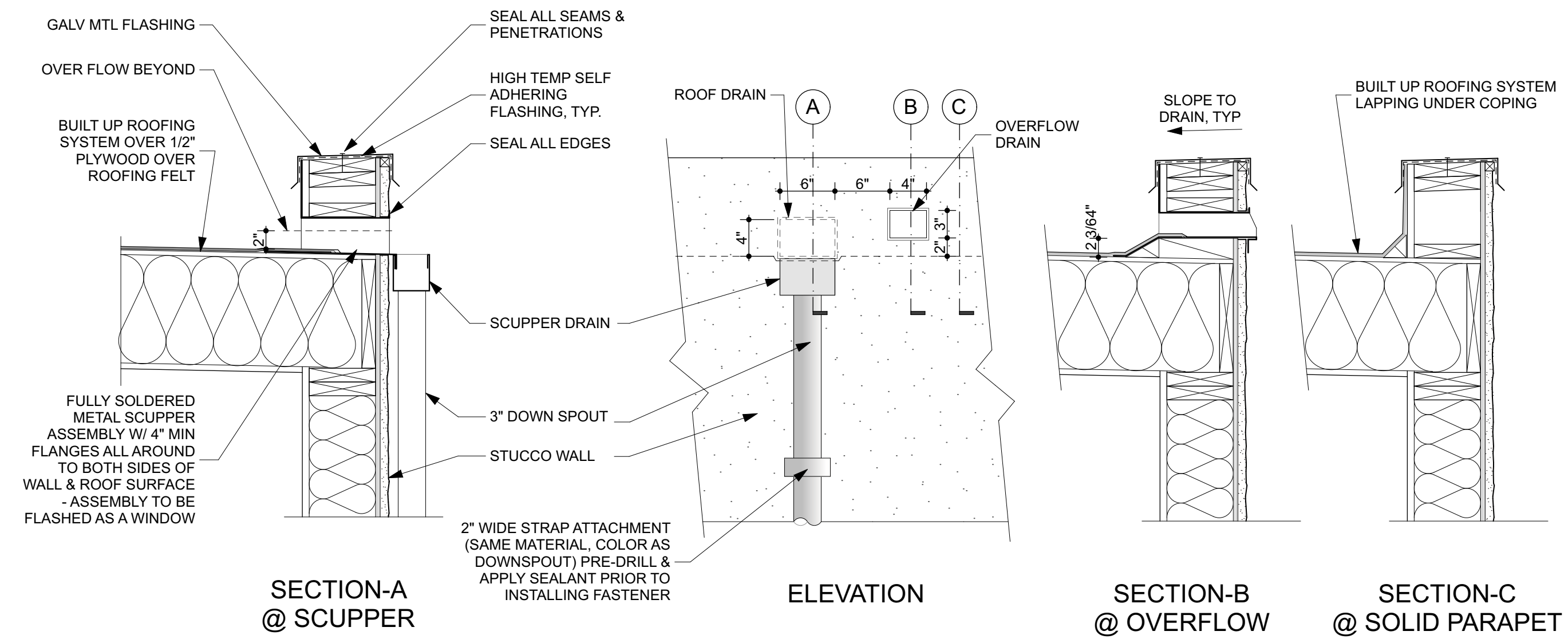
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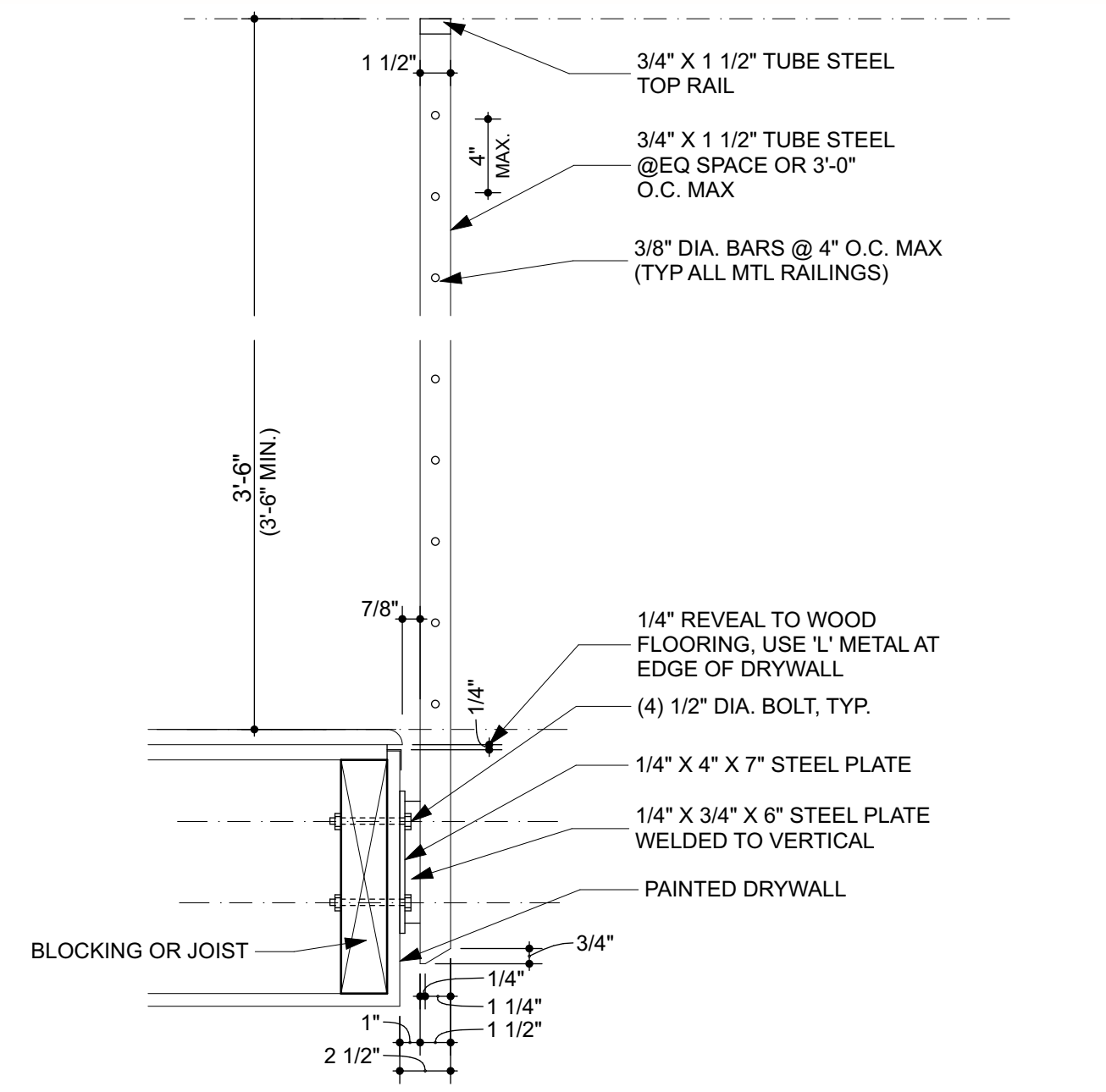
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**A4.1**

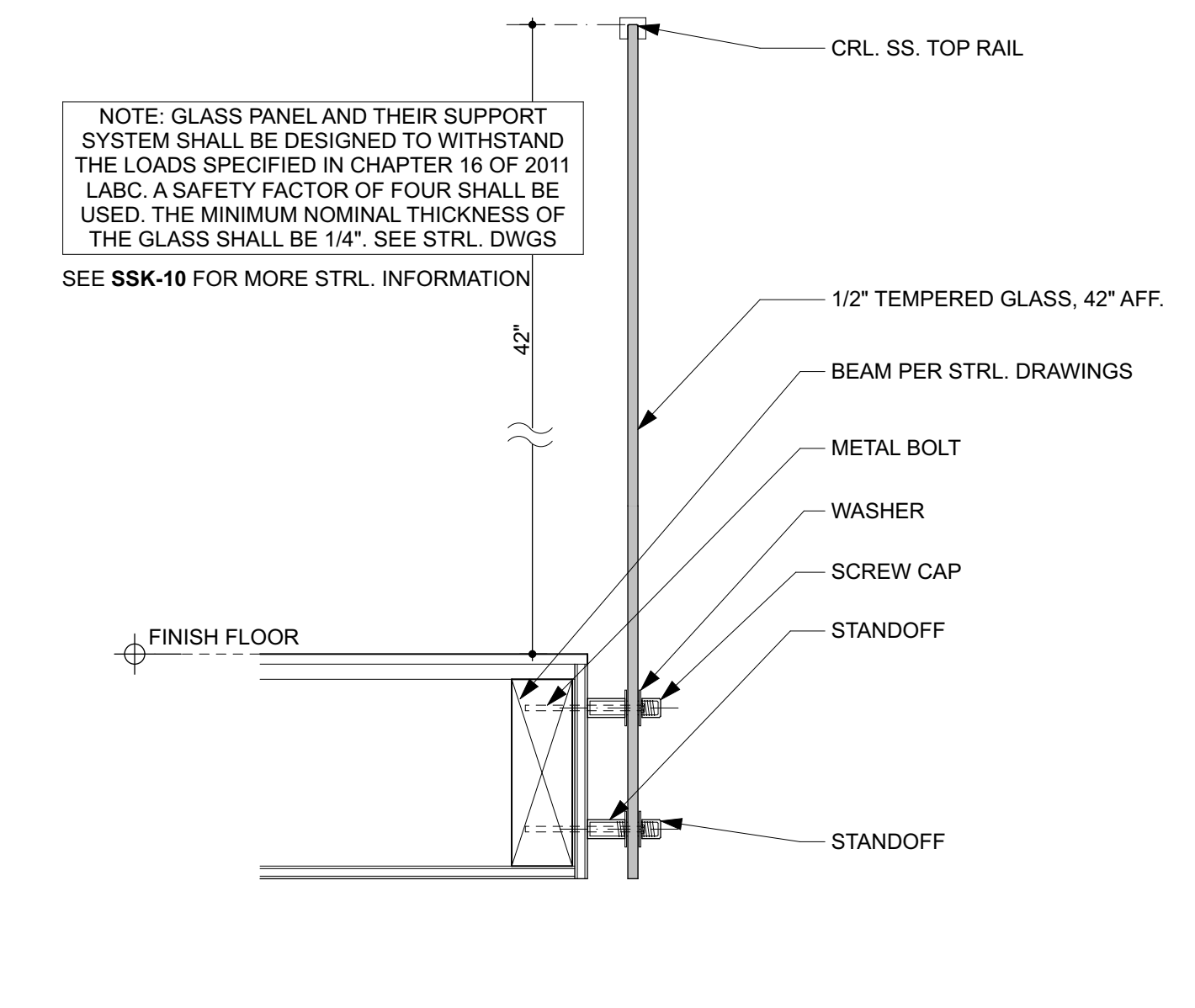




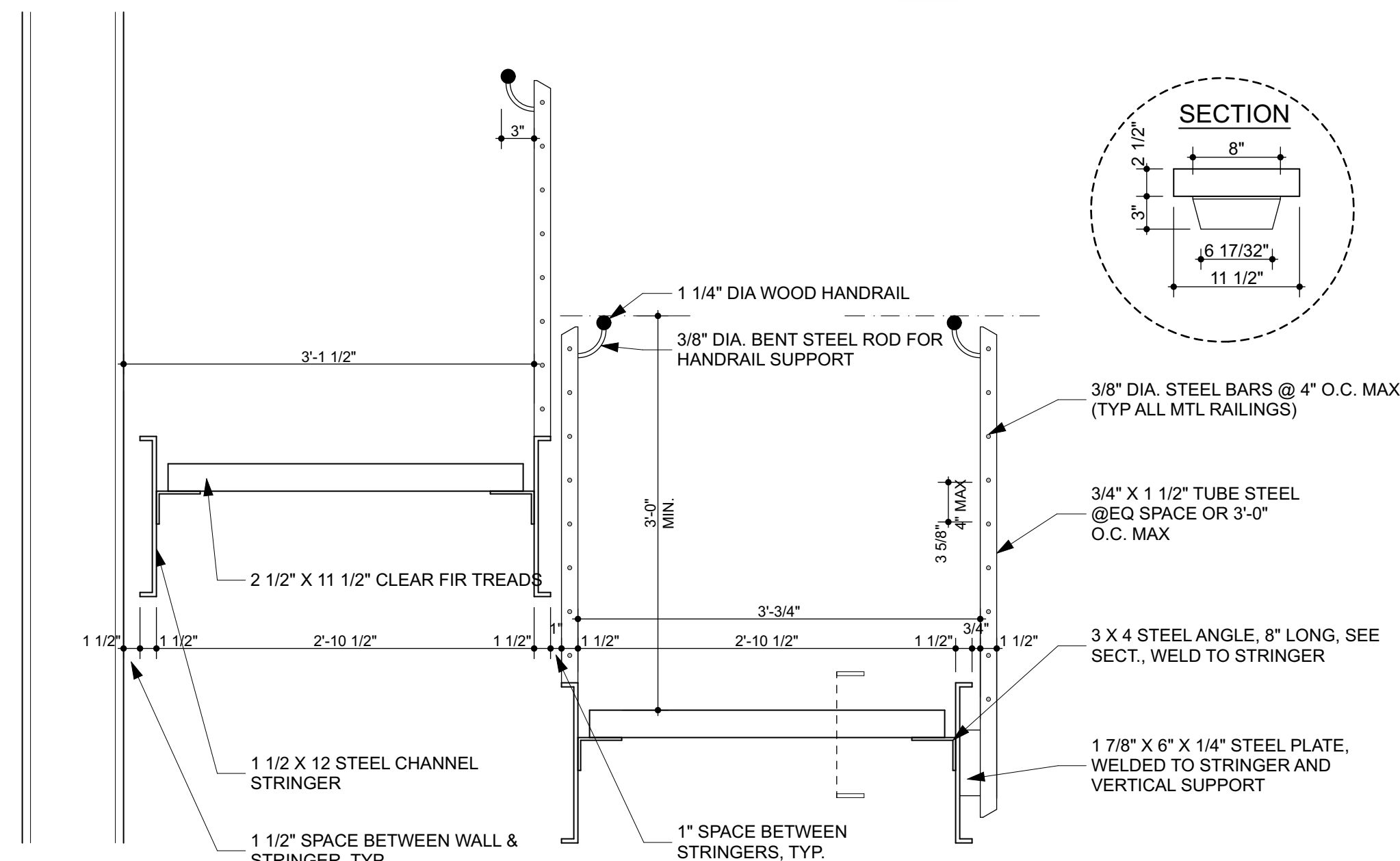
D07 ROOF DRAIN/ DOWN SPOUT DETAIL SCALE: 1" = 1'-0"



D04 INTERIOR GURADRAIL, FACE MOUNTED SCALE: 1 1/2" = 1'-0"



D01 GLASS GUARDRAIL SCALE: 1 1/2" = 1'-0"



D02 STAIR SECTION SCALE: 1" = 1'-0"



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**DOOR / WINDOWS NOTES:**

- WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MIN. WITH SOLID CORE CONSTRUCTION. DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE JAMB
- ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG.
- STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPENDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4".
- THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEADBOLT OPERATED BY A NON REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLT SHALL NOT BE SEPARATED BY MORE THAN 8 INCHES.
- SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.
- SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 677.1
- GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2".
- OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES.
- SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.
- SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.2.
- WINDOWS NOTED AS "EGRESS" SHALL COMPLY WITH THE FOLLOWING:
  - SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ FT.
  - THE MINIMUM OPENING DIMENSIONS SHALL BE 24" H X 20" W
  - SHALL BE LOCATED NOT GREATER THAN 44" MEASURED FROM THE FLOOR

**GLAZING NOTES:**

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4).

- FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLIES.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
  - EXPOSED AREA OF AN INDIVIDUAL PANE: GREATER THAN 9 SQ. FT.
  - BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
  - TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
  - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
- GLAZING IN GUARDS AND RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.
- GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
- GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACES AND WITHIN 60", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.
- GLAZING ADJACENT TO STAIRWAYS, LANDING AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
- GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

SYMB	QTY	SIZE			OPERATION	MATERIAL	MANUF.	FINISH	GLAZING	NOTES
		WIDTH	HEIGHT	HD HT						
A1	1	2'-11 5/8"	1'-8"	1'-8"	CASEMENT			CLEAR ANODIZED	DUAL/ LOW-E	
A2	1	1'-6"	6'-11 3/4"	8'-11 3/4"	CASEMENT/FIXED ABOVE			CLEAR ANODIZED	DUAL/ LOW-E	
A2	1	3'-5"	6'-11 3/4"	8'-11 3/4"	CASEMENT/FIXED ABOVE			CLEAR ANODIZED	DUAL/ LOW-E	
A3	1	7'-4"	1'-10"	9'-9 3/4"	FIXED/ABOVE SLIDER	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
A4	1	1'-6 1/2"	7'-2"	7'-2"	FIXED/CORNER			CLEAR ANODIZED	DUAL/ LOW-E	
A5	1	2'-4 1/2"	1'-10"	9'-9 3/4"	FIXED			CLEAR ANODIZED	DUAL/ LOW-E	
A6	1	3'-3"	1'-10"	9'-9 3/4"	FIXED			CLEAR ANODIZED	DUAL/ LOW-E	
A7	1	8'-0"	1'-10"	9'-9 3/4"	FIXED	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
A8	1	2'-10 1/2"	2'-9 3/4"	9'-9 3/4"	AWNING			CLEAR ANODIZED	DUAL/ LOW-E	
A8	1	3'-8"	2'-9 3/4"	9'-9 3/4"	AWNING			CLEAR ANODIZED	DUAL/ LOW-E	
A9	1	2'-9"	2'-7 1/2"	9'-9 3/4"	FIXED/INTERIOR	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	SINGLE	
B1	1	14'-6 3/4"	2'-0"	8'-9 3/4"	AWNING/4 DIVISIONS	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
B2	1	2'-10"	2'-7 4/5"	8'-10 1/2"	FIXED	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
B3	1	1'-4"	7'-11 3/4"	8'-6 3/4"	FIXED/AWNING ABOVE			CLEAR ANODIZED	DUAL/ LOW-E	
B3	1	2'-10"	8'-10"	8'-10"	FIXED/AWNING ABOVE	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
B4	1	2'-5"	8'-9 3/4"	8'-9 3/4"	FIXED/CORNER	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
B5	1	3'-3"	8'-9 3/4"	8'-9 3/4"	FIXED	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
B6	1	8'-0"	8'-9 3/4"	8'-9 3/4"	FIXED			CLEAR ANODIZED	DUAL/ LOW-E	
B7	1	8'-0"	5'-4 1/4"	8'-9 3/4"	SLIDING/FIXED/SLIDING	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
C1	1	2'-7 1/2"	2'-0"	10'-9"	FIXED/CORNER	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
C2	1	5'-4"	2'-0"	10'-9"	FIXED CORNER/AWNING	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
C3	1	7'-7"	2'-0"	5'-0"	AWNING/2 DIVISION	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
C4	1	8'-0"	8'-2"	8'-2"	FIXED	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
C5	1	8'-0"	2'-2"	11'-2 1/4"	FIXED/ABOVE SLIDER			CLEAR ANODIZED	DUAL/ LOW-E	
C6	1	8'-0"	8'-2"	8'-2"	FIXED			CLEAR ANODIZED	DUAL/ LOW-E	
C7	1	8'-0"	2'-2"	11'-2 1/4"	FIXED/ABOVE SLIDER			CLEAR ANODIZED	DUAL/ LOW-E	
C8	1	3'-2 23/32"	8'-2"	8'-2"	FIXED	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
C9	1	3'-3"	2'-2"	11'-2 1/4"	FIXED			CLEAR ANODIZED	DUAL/ LOW-E	
C10	1	2'-4 27/32"	8'-2"	8'-2"	FIXED/CORNER	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
C11	1	2'-8"	2'-2"	11'-2 1/4"	FIXED/ABOVE SLIDER	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
C12	1	2'-10"	11'-4"	11'-4"	FIXED/ 3 HORIZ DIV.	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
C12	1	14'-6 3/4"	2'-0"	7'-0"	AWNING/4 DIVISIONS	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	
C12	1	2'-10"	11'-4"	11'-4"	FIXED/ 3 HORIZ DIV.	ALUMINUM	FLEETWOOD	CLEAR ANODIZED	DUAL/ LOW-E	

- NOTES:**
- ALL WINDOWS TO COMPLY WITH TITLE 24 ENERGY REPORT ON PLANS.
  - WINDOWS SHOWN AS "ALL WEATHER" ARE TO BE SERIES 5500, 2119 THERMALLY BROKEN, INCLUDE NFRC LABELS (OR AS NOTED ON FILE 24 ENERGY REPORT).
  - ALL STOREFRONT TO BE US ALUMINUM.
  - SKYLIGHTS SHOWN ON ROOF PLAN ARE NOT SHOWN ON WINDOW SCHEDULE. ALL SKYLIGHTS TO BE VELUX, MODEL PER PLAN.
  - ALL OPERABLE WINDOWS WITH A SILL BELOW 42" MUST HAVE RESTRICTORS TO ALLOW LESS THAN 4" OPENING.

ID	QTY	SIZE		MANUF.	DOOR		GLAZING	FRAME		HARDWARE	NOTES
		WD	HGT		MATERIAL	FINISH		MATERIAL	FINISH		
001	1	7'-0"	7'-0"	FLEETWOOD	ALUMINUM	CLEAR ANODIZED	CLEAR	ALUMINUM	CLEAR ANODIZED	FLEETWOOD	2 PANEL SLIDER
002	1	3'-8 1/2"	7'-0"	FLEETWOOD	WHITE OAK	CLEAR	NO	EZY JAMB/STEEL	PAINT	EMTEK	CENTER PIVOT, MASTER BED
003	1	2'-8"	7'-0"	FLEETWOOD	WHITE OAK	CLEAR	NO			EMTEK	BEDROOM DOOR
004	1	2'-8"	7'-4 1/2"	FLEETWOOD	WHITE OAK	CLEAR	NO	EZY JAMB/STEEL	PAINT	EMTEK	BATHROOM DOOR
006	1	2'-7 1/2"	7'-0"	FLEETWOOD	WHITE OAK	CLEAR	NO			EMTEK	CLOSET DOOR
007	1	2'-8"	6'-8"	FLEETWOOD	WHITE OAK	CLEAR	NO	EZY JAMB/STEEL	PAINT	EMTEK	CLOSET DOOR
007	1	2'-8"	7'-0"	FLEETWOOD	ALUMINUM	CLEAR ANODIZED	CLEAR/TEMPERED	NO		CRL	FRAMELESS GLASS AT WATER CLOSET
100	1	4'-0"	7'-10 1/2"	FLEETWOOD	ALUM/GLASS	CLEAR ANODIZED	CLEAR/TEMPERED	ALUMINUM	CLEAR ANODIZED	FLEETWOOD	ENTRY DOOR
102	1	16'-0"	8'-0"	CLOPAY	ALUMINUM	CLEAR ANODIZED	CLEAR	STEEL	PAINT	-	GLASS GARAGE DOOR
103	1	3'-0"	8'-0"	-	WHITE OAK	CLEAR	CLEAR	EZY JAMB/STEEL	PAINT	EMTEK	GARAGE/RESIDENT DOOR, 3/4HR, SELF CLOSING
104	1	7'-0"	8'-7 3/4"	FLEETWOOD	ALUMINUM	CLEAR ANODIZED	CLEAR	ALUMINUM	CLEAR ANODIZED	FLEETWOOD	2 PANEL SLIDER
200	1	7'-0"	8'-0"	FLEETWOOD	ALUMINUM	CLEAR ANODIZED	CLEAR	ALUMINUM	CLEAR ANODIZED	FLEETWOOD	2 PANEL SLIDER, XO
201	1	2'-8"	6'-11 1/4"	FLEETWOOD	ALUM/GLASS	CLEAR ANODIZED	CLEAR/TEMPERED	ALUMINUM	CLEAR ANODIZED	FLEETWOOD	
202	1	2'-8"	6'-11 1/4"	FLEETWOOD	WHITE OAK	CLEAR	NO	-	-	EMTEK	POCKET DOOR

- NOTES:**
- ALL DOORS TO COMPLY WITH TITLE 24 REPORT ON PLANS.
  - WHITE OAK DOORS ARE SOLID CORE SLABS.
  - STEELCRAFT DOORS ARE TO BE 'L' SERIES, MODEL 'F'.
  - CLOPAY GARAGE DOORS ARE TO BE 'AVANTE' COLLECTION, CLEAR ANODIZED ALUMINUM FRAMES, CLEAR ANODIZED ALUMINUM OR FROSTED GLASS PANELS.
  - (BUDGET) FLEETWOOD SWINGING DOORS ARE TO BE MOJAVE 3400 SERIES.
  - (HIGH END) FLEETWOOD SWINGING DOORS ARE TO BE PACIFIC 3500 SERIES.
  - (BUDGET) FLEETWOOD SLIDING DOORS ARE TO BE 1000 SERIES (2-PANEL SLIDERS) & 1070 (MULTI PANEL SLIDERS).
  - (HIGH END) FLEETWOOD SLIDING DOORS ARE TO BE NORWOOD 3000 SERIES (2-PANEL SLIDERS) & NORWOOD 3070 (MULTI PANEL SLIDERS).



670 moulton ave unit 5  
los angeles, ca 90031  
v. 3 2 3 . 4 4 1 . 9 0 7 0  
f. 3 2 3 . 4 4 1 . 9 0 5 8

**CREST\_MB**  
4113 CREST DRIVE  
MANHATTAN BEACH, CA 90266  
**OWNER:**  
LORA LAVERTY  
47 WEST DIVISION STREET #408  
CHICAGO, IL 60610

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CREST LANDSCAPE - PLANTING SCHEDULE								
SYMBOL	QNTY	BOTANICAL NAME	COMMON NAME	HEIGHT	WATER NEEDS	SIZE	SPACING	NOTES
G01	6	PHORMIUM 'AMAZING RED'	NEW ZEALAND FLAX	4'-6"	LOW 10-30	5 GALLON	AS SHOWN	
G02	19	CAREX TUMULICOLA	BERKELEY SEDGE	18"-24"	LOW 10-30	5 GALLON	AS SHOWN	
G03	15	FESTUCA OVINA	SHEEP FESCUE	6"-12"	LOW 10-30	5 GALLON	AS SHOWN	
S07	1	ACACIA COVENYI	BLUE BUSH	10'-12'	LOW 10-30	15 GALLON	AS SHOWN	
GC-1	PER PLAN	SENECIO SERPENS	BLUE CHALKSTICKS	4'-6"	LOW 10-30	5 GALLON	18" OC	

NOTE: WATER USE CLASSIFICATION PER WUCOLS (<http://wucols.ecorhythmgroup.org>)

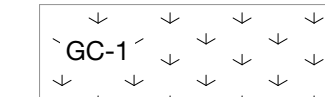
**WUCOLS CATEGORIES OF WATER NEEDS**

Category	Abbreviation	Percentage of ET <sub>o</sub>
High	H	70-90
Moderate	M	40-60
Low	L	10-30
Very Low	VL	< 10

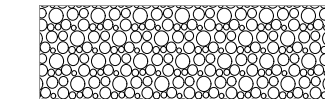
**LANDSCAPE AREA**

01	BUILDING	860
02	LANDSCAPE	252
03	DRIVEWAY	85
03	HARDSCAPE	16
03	HARDSCAPE	29
03	HARDSCAPE	108
		<b>1,350 sq ft</b>

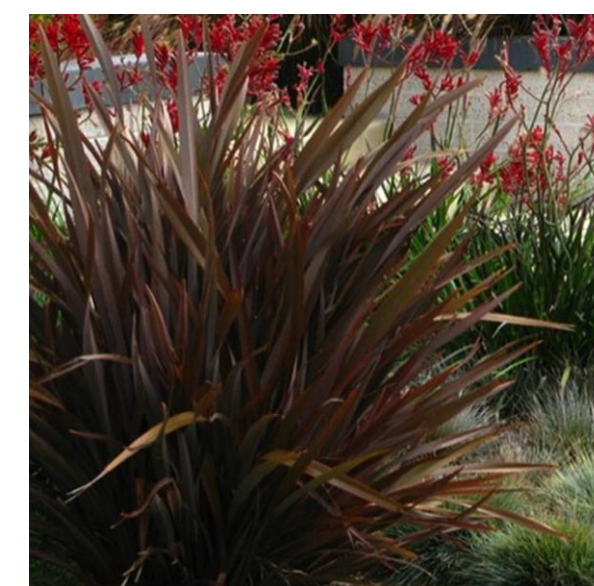
**GROUND COVER:**



SENECIO SERPENS / BLUE CHALKSTICKS / 1'-2" HEIGHT / LOW WATER USE / 5 GALLON SIZE / 18" OC SPACING



2" DEEP ARIZONA CRUSHED ROCK 1/2" SIZE



PHORMIUM 'AMAZING RED'  
NEW ZEALAND FLAX  
G01



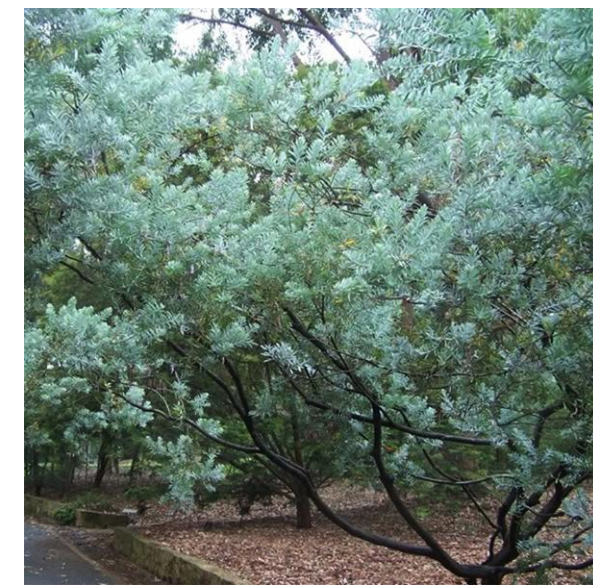
CAREX TUMULICOLA  
BERKELEY SEDGE  
G02



FESTUCA OVINA  
SHEEP FESCUE  
G03



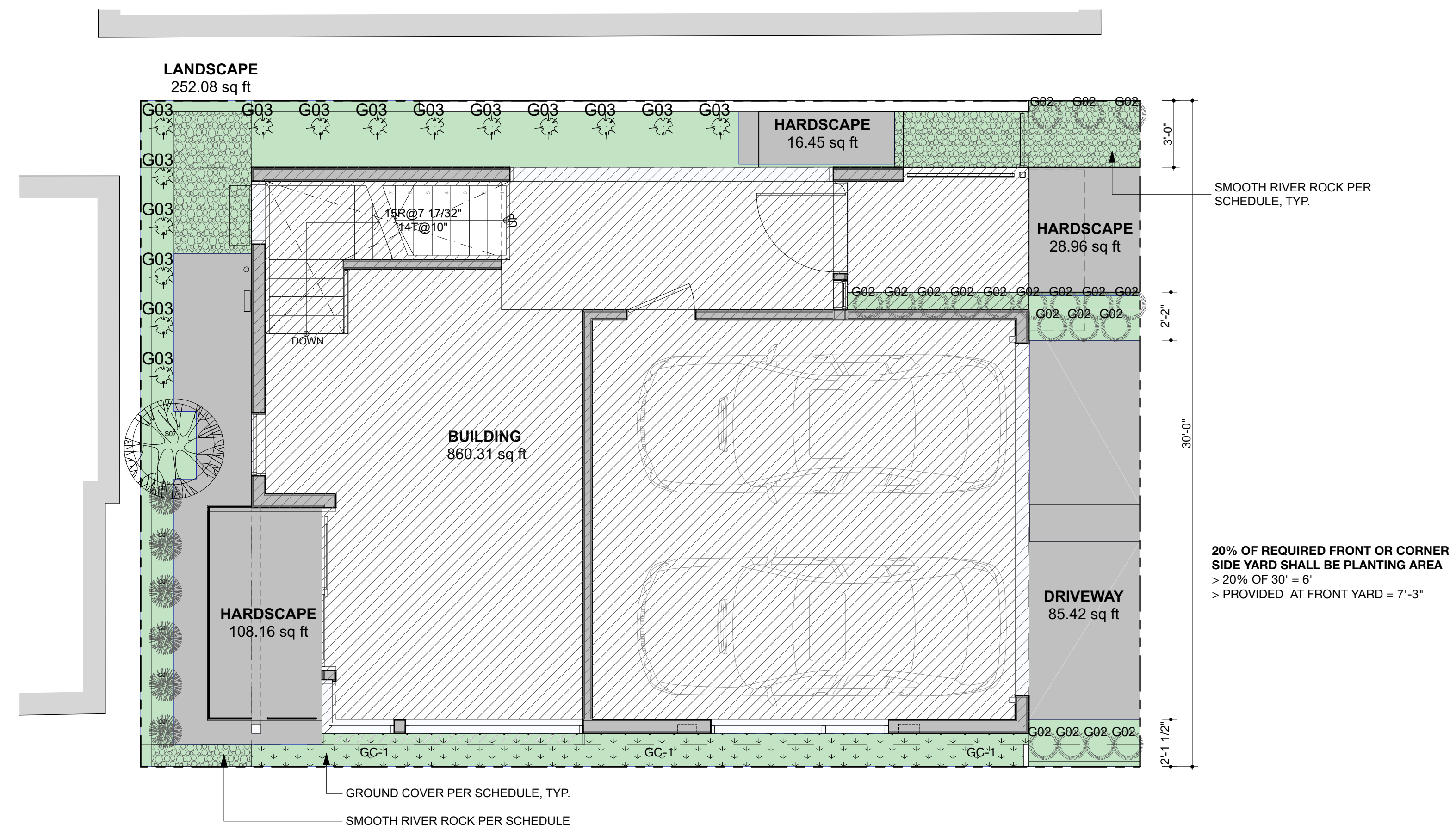
SENECIO SERPENS  
BLUE CHALKSTICKS  
GROUND COVER



ACACIA COVENYI  
BLUE BUSH  
S07



ARIZONA SMOOTH RIVER ROCK  
GROUND COVER



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**L01**